



A G E N D A

Meeting of the Scotts Valley Planning Commission

Date: August 9, 2018

Time: 6pm

CITY OF SCOTTS VALLEY 1 Civic Center Drive Scotts Valley, CA 95066 831-440-5630	MEETING LOCATION City Council Chambers 1 Civic Center Drive Scotts Valley, CA 95066	POSTING: The agenda was posted on August 3, 2018, at City Hall, SV Senior Center, SV Library and on the Internet at www.scottsvally.org .
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Appointed Officials	City Staff Members
Derek Timm, Chair Carlos Arcangeli, Vice Chair Robin Donovan, Commissioner Rosanna Herrera, Commissioner Deborah Muth, Commissioner	Taylor Bateman, Acting Community Development Director Michelle Edwards, Senior Planner Brenda Stevens, Assistant Planner

Notice regarding Planning Commission Meetings:

The Planning Commission meets regularly on the 2nd Thursday of each month (unless otherwise noticed) at 6pm in the City Hall Council Chambers located at 1 Civic Center Drive, Scotts Valley, CA 95066.

Agenda and Agenda Packet Materials:

The Planning Commission agenda is available for review the Friday before the Thursday meeting on the Internet at the City's website: www.scottsvally.org and in the lobby of City Hall at 1 Civic Center Drive, Scotts Valley, CA. Pursuant to Government Code §54957.5, materials related to an agenda item, submitted after distribution of the agenda packet, are available for public inspection in the lobby of City Hall during normal business hours, Monday-Friday, 8am-Noon and 1-5pm. In accordance with AB 1344, such documents will be posted on the City's website at www.scottsvally.org.

CALL TO ORDER 6pm

(The Planning Commission Chair calls the meeting to order.)

PLEDGE OF ALLEGIANCE and MOMENT OF SILENCE

(The Planning Commission Chair leads the pledge of allegiance.)

ROLL CALL

(Planning Department staff conduct roll call of the Planning Commission.)

PUBLIC COMMENT TIME

This is the opportunity for individuals to make and/or submit written or oral comments to the Commission on any items within the purview of the Commission, which are NOT part of the Agenda. No action on the item may be taken, but the Commission may request the matter be placed on a future agenda.

ALTERATIONS TO CONSENT AGENDA

(The Commission can remove or add items to the Consent Agenda.)

CONSENT AGENDA

(The Consent Agenda is comprised of items which appear to be non-controversial. Persons wishing to speak on any items may do so raising their hand to be recognized by the Chair. These items will be acted upon in one motion unless they are removed from the consent agenda for discussion by the Commission.)

Approve the Action Meeting Minutes from the June 14, 2018, meeting.

ALTERATIONS TO PUBLIC HEARING AGENDA

(Commission can remove or add items to the Regular Agenda.)

PUBLIC HEARING AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

None.

ALTERATIONS TO REGULAR AGENDA

(Commission can remove or add items to the Regular Agenda.)

REGULAR AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

1. Address: 1 Wells Road / APN 022-082-59

Applicant / Property Owner: Jim Stroupe / Tom Tansy

Planning Permit Application No's: Design Review DR18-003

Project Description: Consideration of a Design Review application to construct an 800 square foot single family dwelling unit with a 685 square foot covered porch to the rear of an existing single family dwelling located in the R-M-6 zoning district.

Staff: Brenda Stevens, Assistant Planner, 440-5635 bstevens@scottsvalley.org

2. Address: 1600 Green Hills Road / APN 024-261-03

Applicant / Property Owner: Brendan Moran - Solar Technologies / Central Coast Alliance for Health – Ryan Inlow

Planning Permit Application No's: Design Review DR18-006

Project Description: Consideration of a Design Review application to install four solar carports in the parking lot and rooftop solar arrays on an existing commercial building.

Staff: Brenda Stevens, Assistant Planner, 440-5635 bstevens@scottsvalley.org

DISCUSSION ITEMS AND FUTURE AGENDA ITEMS

(The Planning Commission or Community Development Director may request to schedule items on future agendas.)

WRITTEN COMMUNICATIONS – FOR INFORMATION ONLY

(City Council Minutes or other items are provided if available.)

DIRECTOR UPDATES

(The Acting Community Development Director may provide any department or city updates that are available.)

ADJOURNMENT

(Adjournment shall be no later than 11pm unless extended by a four-fifths vote of all Planning Commission members or a unanimous vote of the members present per City Municipal Code Section 2.21.010.)

The City of Scotts Valley does not discriminate against persons with disabilities. The City Council Chambers is an accessible facility. If you wish to attend a Planning Commission meeting and require assistance such as sign language, a translator, or other special assistance or devices in order to attend and participate at the meeting, please call the Community Development Department at 831-440-5630 five to seven days in advance of the meeting to make arrangements for assistance. If you require the agenda of a Planning Commission meeting be available in an alternative format consistent with a specific disability, please call the Community Development Department. The California State Relay Service (TTY/VCO/HCO to Voice: English 1-800-735-2929, Spanish 1-800-855-3000; or, Voice to TTY/VCO/HCO: English 1-800-735-2922, Spanish 1-800-855-3000), provides Telecommunications Devices for the Deaf and Disabled and will provide a link between the TDD caller and users of telephone equipment.



Minutes

Scotts Valley Planning Commission and Cultural Resources Preservation Commission Special Meeting

Date: June 14, 2018

Time: 6:00 PM

CITY OF SCOTTS VALLEY 1 Civic Center Drive Scotts Valley, CA 95066 (831) 440-5630	MEETING LOCATION City Council Chambers 1 Civic Center Drive Scotts Valley, CA 95066	POSTING: The agenda was posted at City Hall, SV Senior Center, SV Library and on the Internet at www.scottsvalley.org .
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Appointed Officials	City Staff Members
Derek Timm, Chair Carlos Arcangeli, Vice Chair Robin Donovan, Commissioner Rosanna Herrera, Commissioner Deborah Muth, Commissioner Eric Taylor, Cultural Resource Commissioner	Taylor Bateman, Community Development Dir. Michelle Edwards, Senior Planner Brenda Stevens, Assistant Planner

CALL TO ORDER: Meeting called to order at 6:05p.m.

PLEDGE OF ALLEGIANCE and MOMENT OF SILENCE: The Planning Commission Chair led the pledge of allegiance.

ROLL CALL: Present: Arcangeli, Donovan, Herrera, Muth, Taylor and Timm.

PUBLIC COMMENT: None.

ALTERATIONS TO CONSENT AGENDA: None.

CONSENT AGENDA: The Commission approved the minutes.

A. Action Meeting Minutes from the May 10, 2018 meeting.

M/S: Arcangeli/Muth

To approve the Consent Agenda.

Carried: 5/0/0 (AYES: Arcangeli, Donovan, Herrera, Muth, and Timm **NOES: None;**
ABSENT: None

ALTERATIONS TO REGULAR AGENDA: None

PUBLIC HEARING AGENDA:

1. **Address/APN:** 4627 Scotts Valley Drive / 022-082-34 and 35
Applicant /Property Owner: Larry Abitbol
Planning Permit Application No: CRA17-001
Project Description: Consideration of a Cultural Resource Alteration Application for the proposed 19 unit Bay Apartments project.
Project Planner: Taylor Bateman, Community Development Director

M/S: Taylor/Herrera

To approve the Cultural Resource Alteration application, subject to conditions of approval, attached to the staff report.

Carried: 6/0/0 (AYES: Arcangeli, Donovan, Herrera, Muth, Taylor and Timm
NOES: None; ABSENT: None

2. **Address / APN:** 350 Bean Creek Road / 022-212-09
Applicant / Property Owner: Maureen Wruck PIng. Cons./ Thompson Trust
Planning Permit Application Nos: MLD18-002, EA18-003
Project Description: Consideration of recommendation of approval to the City Council for a Minor Land Division of a Vesting Tentative Map to split an existing parcel (26,777 square feet) into two new parcels (7,230 and 7,231 square feet) for future residential development, plus a remainder lot (12,316 square feet) for the existing single-family residence and detached garage in the High-density Multi-family Residential (R-H) zone.
Project Planner: Michelle Edwards, Senior Planner

Chair Timm recused himself from item No. 2 due to a potential conflict of interest.

M/S: Herrera/Muth

To approve Resolution No. 1733 to recommend approval of the lot split to the City Council, subject to the "revised" Conditions of Approval dated 06/14/18.

Carried: 4/0/1 (AYES: Arcangeli, Donovan, Herrera and Muth **NOES: None;**
ABSENT: Timm (recused).

Chair Timm returns to the meeting.

3. **Address/APN:** 4627 Scotts Valley Drive / 022-082-34 and 35
Applicant /Property Owner: Larry Abitbol
Planning Permit Application Nos: GPA17-001, ZC17-001, PD17-001, DR16-006, and EA17-002

Project Description: Consideration of a General Plan Amendment, Zone Change, Planned Development Zoning and Permit, and Design Review application proposing the construction of 19 new residential apartment units in two buildings on a 0.93-acre site in the C-S, Service Commercial General Plan and Zoning District. The project proposes four units in a two-story building facing Scotts Valley Drive and 15 units in a three-story building centrally located on site.
Consulting Planner: Scott Harriman

M/S: Arcangeli/Herrera

To approve the project, via Resolution No.1734 subject to conditions of approval.

Carried: 4/1/0 (AYES: Arcangeli, Donovan, Herrera and Timm **NOES:** Muth;

ABSENT: None

ALTERATIONS TO REGULAR AGENDA: None

REGULAR AGENDA

4. **Address/APN:** 99 Mount Hermon Road / 021-021-26

Applicant /Property Owner: Conoco Phillips

Planning Permit Application Nos: DR18-002 and EA18-007

Project Description: Consideration of a Design Review to revise existing signs with new corporate color and design changes to the fuel pump canopies and fuel pumps of the existing '76' gasoline service station. The existing illuminated monument sign will undergo copy and color/design changes only.

Project Planner: Brenda Stevens, Assistant Planner,

M/S: Muth/Arcangeli

To approve Resolution No. 1735 to allow revisions to the existing Planned Sign Program for the 76 gasoline service station subject to conditions of approval.

Carried: 5/0/0 (AYES: Arcangeli, Donovan, Herrera, Muth, and Timm **NOES:** None; **ABSENT:** None

DISCUSSION ITEMS AND FUTURE AGENDA ITEMS: None.

WRITTEN COMMUNICATIONS – FOR INFORMATION ONLY: None.

DIRECTOR UPDATES: None.

ADJOURNMENT: 7:35 p.m.

STAFF REPORT

Applicant: Jim Stroupe

Owner: Tom Tansy

Application: Design Review No. DR18-003

Location: 1 Wells Road / APN 022-082-59

General Plan/Zoning: Medium High Density / R-M-6

Environmental Status: Exempt from CEQA (Section 15303)

Request: Consideration of a Design Review application to construct a 800 square foot single family dwelling unit with a 685 square foot covered porch to the rear of an existing single family dwelling located in the R-M-6 zoning district.

Staff Planner: Brenda Stevens, Assistant Planner

STAFF RECOMMENDATION

It is recommended that the Planning Commission review the plans for Design Review application No. DR18-003, and approve the application, subject to the attached conditions in Exhibit A.

PROJECT DESCRIPTION

The project site is located at 1 Wells Road and is a 20,500 square foot parcel with an existing 2,050 square foot two-story, single family home located at the front of the property (Attachment 1- Location Map). The property owner proposes to construct a single-story 800 square foot single family dwelling unit with a 685 square foot covered porch to the rear of the existing single family dwelling (Attachment 2 - Plans).

BACKGROUND

In 2009, a 2,050 square foot, two-story single family dwelling with a garage was built on the front portion of the property and remains in place today. There are no proposed changes to the existing dwelling with this application.

PROJECT DISCUSSION

The property is zoned residential Medium High Density (R-M-6), within this zoning district, “all structures” are required to be reviewed under a Design Review application before the Planning Commission as per the Scotts Valley Municipal Code (SVMC) 17.12.050.

Staff has reviewed the project for compliance with the City’s regulations and requirements. An analysis of the project for the Planning Commission’s consideration is provided below.

Site Specifics

The project site is located in the R-M-6 zoning district. The property across the street and to the north is also R-M-6 as is the abutting property to the east. The abutting property to the south is zoned R-H, while adjacent property to the west is zoned R-1-20. The proposed new dwelling would be located to the rear of the property. A new fence would be installed between the rear yard of the existing single family dwelling and the front yard of the proposed dwelling.

Development standards

The proposed project meets the R-M-6 development standards with regards to lot area, density, width, depth, setbacks, lot coverage, height and parking. The site is relatively flat with no hillside or slope issues.

Visual Impact

The proposed single-story dwelling is architecturally designed to be compatible with the existing dwelling on site. The corrugated metal roof will be painted to match the existing house. Corrugated clear polycarbonate will cover the porch. The cement siding will be painted yellow to match the front house while the white door and window trim will also match the front dwelling. The materials and accents would meld with the existing housing in the neighborhood.

Parking

As noted on Sheet 2 of the project plans, two required on-site parking spaces will be added near the property entrance on Wells Road. A walkway would connect the parking spaces to the covered porch entry.

Landscaping

The existing landscaping includes a few trees which are to remain, no trees are proposed for removal.

FINDINGS

1. *The siting of any structure on the property as compared to the siting of other structures in the immediate neighborhood.* The proposed one story, single family dwelling structure is appropriate with the surrounding neighborhood.
2. *Materials, colors, proportion, mass and detail. All structures shall be in good proportion, have simplicity of mass and detail and be compatible in appearance with surrounding structures.* The proposed project is designed to have appropriate materials and colors that will meld with surrounding structures.
3. *The size, location and arrangement of on-site parking and paved areas.* The addition of two on-site parking spaces will be located appropriately and will be of adequate size.

ATTACHMENTS

PAGE No.

Resolution No. _____ to Approve DR18-003 (Action Item)

1. Location Map. 7
2. Project Plans (received 6-27-18). Attached

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SCOTTS VALLEY APPROVING DESIGN REVIEW PERMIT NO. DR18-003 FOR AN 800 SQUARE FOOT SINGLE FAMILY HOME WITH A 685 SQUARE FOOT COVERED PORCH LOCATED IN THE R-M-6 ZONING DISTRICT TO BE LOCATED AT 1 WELLS ROAD // APN 022-082-59.

WHEREAS, the Planning Department of the City of Scotts Valley has received an application filed by Jim Stroue, on behalf of property owner Tom Tansy, for Design Review Permit No. DR18-003 for an 800 square foot single family dwelling with a 685 square foot covered porch to be located at 1 Wells Road // APN 022-082-59; and,

WHEREAS, Jim Stroue, (referred to as the “applicant”) has presented substantial evidence which supports the application; and,

WHEREAS, the application was reviewed for completeness and is determined to be a “project” as defined by the California Environmental Quality Act (CEQA); and,

WHEREAS, the project is Categorically Exempt, Class 3 (15303); and,

WHEREAS, the project was reviewed by the Planning Commission at a regularly scheduled meeting on Thursday, August 9, 2018.

NOW THEREFORE, the Planning Commission of the City of Scotts Valley hereby resolves as follows:

SECTION 1: The environmental determination represents the independent judgement of the City.

SECTION 2: The categorical exemption is hereby approved.

SECTION 3: The Planning Commission of the City of Scotts Valley does hereby specifically make the following findings, as further clarified in the staff report dated August 9, 2018;

1. *The siting of any structure on the property as compared to the siting of other structures in the immediate neighborhood.* The proposed one story, single family dwelling structure is appropriate with the surrounding neighborhood.
2. *Materials, colors, proportion, mass and detail. All structures shall be in good proportion, have simplicity of mass and detail and be compatible in appearance with surrounding structures.* The proposed project is designed to have appropriate materials, colors that will meld with surrounding structures.

3. *The size, location and arrangement of on-site parking and paved areas.* The addition of two-on site parking spaces will be located appropriately and will be of adequate size.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff report, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve Design Review Permit No. DR18-003 for an 800 square foot single family dwelling with a 685 square foot covered porch to be located at 1 Wells Road // APN 022-082-59, subject to the conditions set forth in the attached Exhibit A, which are incorporated herein by this reference.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on the 9th day of August, 2018, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chair, Derek Timm

Taylor Bateman, Community Development Director

EXHIBIT A
CONDITIONS OF APPROVAL
(Numbers X)

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. After Planning Commission approval, the property owner shall sign the Conditions of Approval (Exhibit A) agreeing to the Conditions of Approval prior to the issuance of any building permits.
3. All required building permits shall be obtained and the applicant shall pay all appropriate fees prior to commencement of any construction on the property.

PLANNING DEPARTMENT

4. The color, materials, size, location, and design of the improvements shall match the approved plans. Modifications to the approved project may require approval by the Planning Commission at the discretion of the Community Development Director. All future colors shall blend with the surrounding environment and be compatible with surrounding structures.

FIRE DISTRICT

5. The applicant shall comply with all requirements as directed by the Scotts Valley Fire Protection District.

WATER DISTRICT

6. The applicant shall comply with all requirements as directed by the Scotts Valley Water District.

Signature of Property Owner

Date

GENERAL NOTES

- 1 The work under this contract includes all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving the entire project ready for use.
- 2 These contract documents indicate the general extent of construction necessary for the project, but are not intended to be all-inclusive. All work required to provide a finished project in accordance with the intent of these contract documents is included regardless of whether shown on the drawings, called out in a note, or not shown or mentioned.
- 3 Any conflicts, errors or omissions found in these contract documents shall be brought to the attention of the Architect and Owner for clarification before proceeding with the work.
- 4 The General Contractor shall verify and be responsible for all dimensions and site conditions.
- 5 Written dimensions take precedence. Do not scale drawings.
- 6 Install all fixtures, equipment and materials per manufacturer's recommendations.
- 7 Verify required clearances for flues, vents, appliances, fixtures, etc. before ordering or installing these items.
- 8 The General Contractor shall be responsible for removing all rubbish from all subcontractors and trades on a weekly basis and shall exercise strict control over maintaining a clean job site to prevent safety hazards.
- 9 The General Contractor shall leave the finished project clean and ready for occupancy. This includes cleaning all glass inside and out.

PROJECT TEAM

Owners

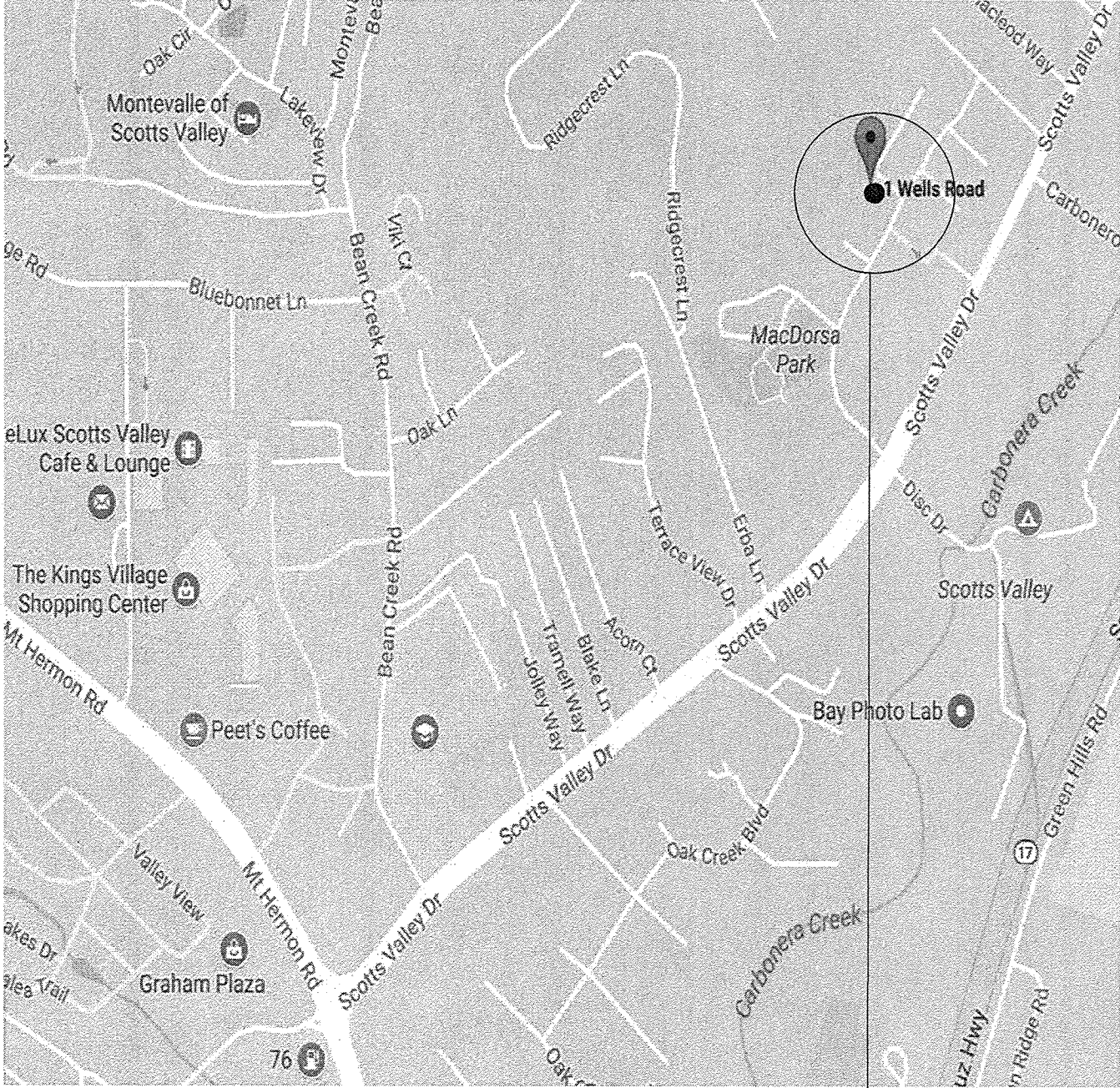
Barbara and Tom Tansy
1 Wells Road
Scotts Valley, California 95066
(831) 227-1073

Architect

James Reed Stroupe, C12455
P.O. Box 388
Aptos, California 95001
(831) 688-3300

Energy Consultant

Monterey Energy Group, David Knight
26465 Camel Rancho Boulevard, #8
Carmel, California 93423
(831) 312-8328



B Vicinity Map
road map

SITE



PROJECT DATA

Assessor's Parcel	022-082-59
Site Address	1 Wells Road Scotts Valley, California 95066
Owners	Barbara and Tom Tansy
Occupancy	R3/U
Construction Type	V-B, fire sprinklered
Zoning	RM-6
Sewer and Water	City of Scotts Valley
Fire District	Scotts Valley Fire Department

Project Description

Construct another Dwelling Unit in the rear yard of this property;
800 square feet conditioned area and 685 square feet covered porch.
Construct a fence between the rear yard of the existing house
and the front yard of this new house.
Construct two parking spaces and a walkway connecting those
parking spaces to the covered porch upper level entry.
Make all underground connections of utilities from main house to new house.
Install (2) 2,500 gallon rainwater catchment basins on the uphill West end of house.

Area Summary

Gross Lot Size	20,500 square feet
40-foot right of way	6,365 square feet
Net Lot Size	14,135 square feet
Allowable Lot Coverage	14,135 x 0.55 = 7,774 SF
Average Site Slope	0.00229 x 5 x 550/0.337
Existing Building	2,050 square feet
New Building	1,485 square feet
Total Building	3,535 square feet
Proposed Lot Coverage	25 %

No Trees

No existing trees on the property will need to be removed for the construction of this project.

DRAWING INDEX

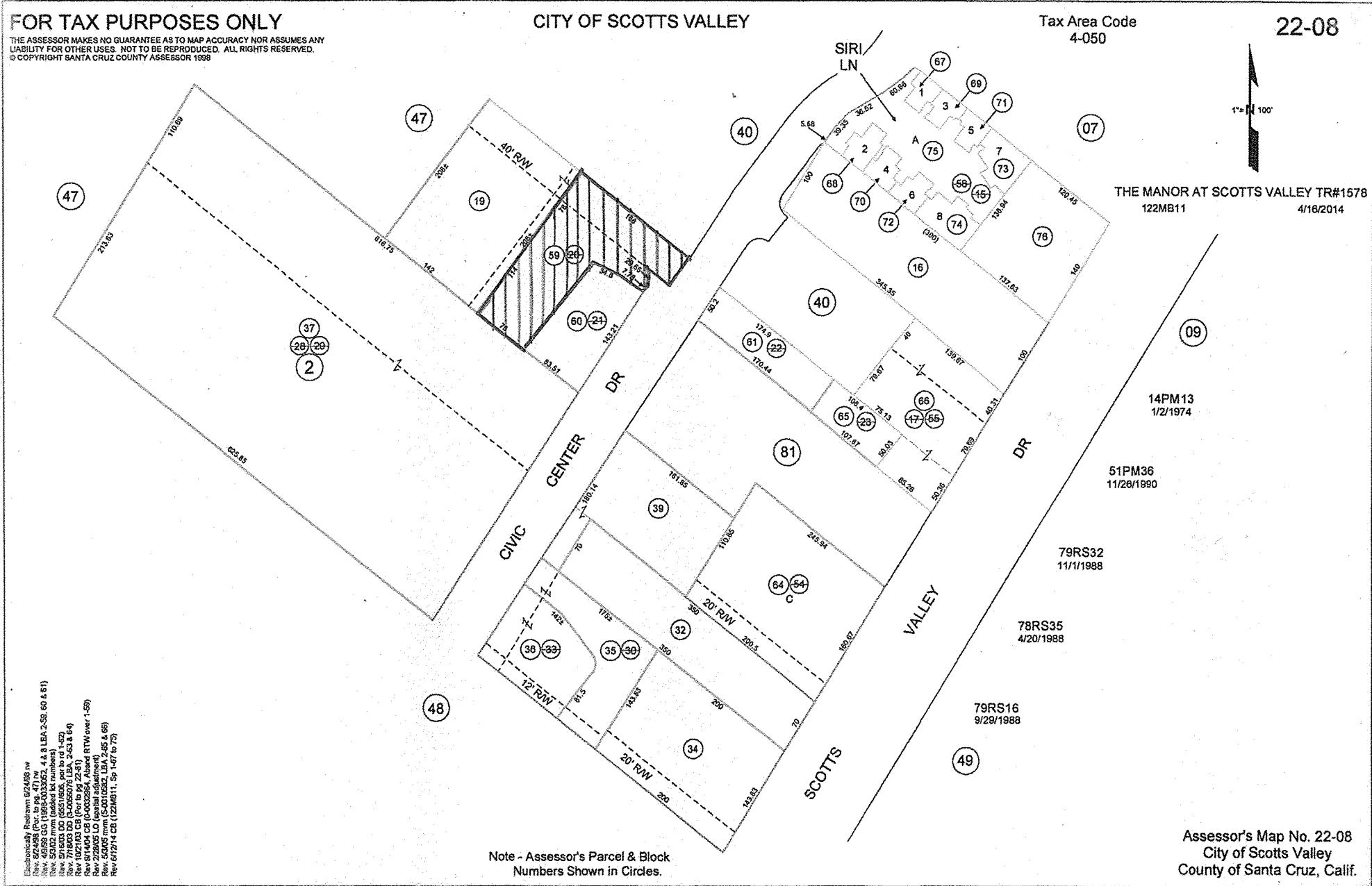
- 1 Vicinity Map, Project Data, Drawing Index
- 2 Plot Plan
- 3 Floor Plan
- 4 Roof Plan
- 5 Building Sections
- 6 Exterior Elevations
- 7 Electrical, Mechanical and Plumbing Plan

FIRE NOTES

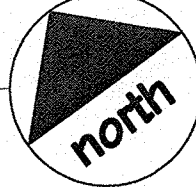
- 1 This building shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13-D and the adopted FPO-005 standard from the Santa Cruz Fire Chiefs Association.
- 2 The designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to the Scotts Valley Fire Protection District for approval.
- 3 Fire Department requires a minimum 48 hours notice prior to inspection.
- 4 Job copies of the building and fire system plans and permits must be on-site during inspections.
- 5 Maintain a 30-foot clearance with non-combustible vegetation around all structures.
- 6 Post and maintain address numbers to be plainly visible from the street.
Numbers shall be minimum 5 inches high and a color contrasting to the background.

APPLICABLE CODES

2016 CALIFORNIA BUILDING STANDARDS CODE including :
2016 California Residential Code
2016 California Building Code
2016 California Electrical Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Fire Code
2016 California Energy Code
2016 California Green Building Code
2016 California Administrative Code
2016 California Referenced Standards Code



A APN Map
no scale given

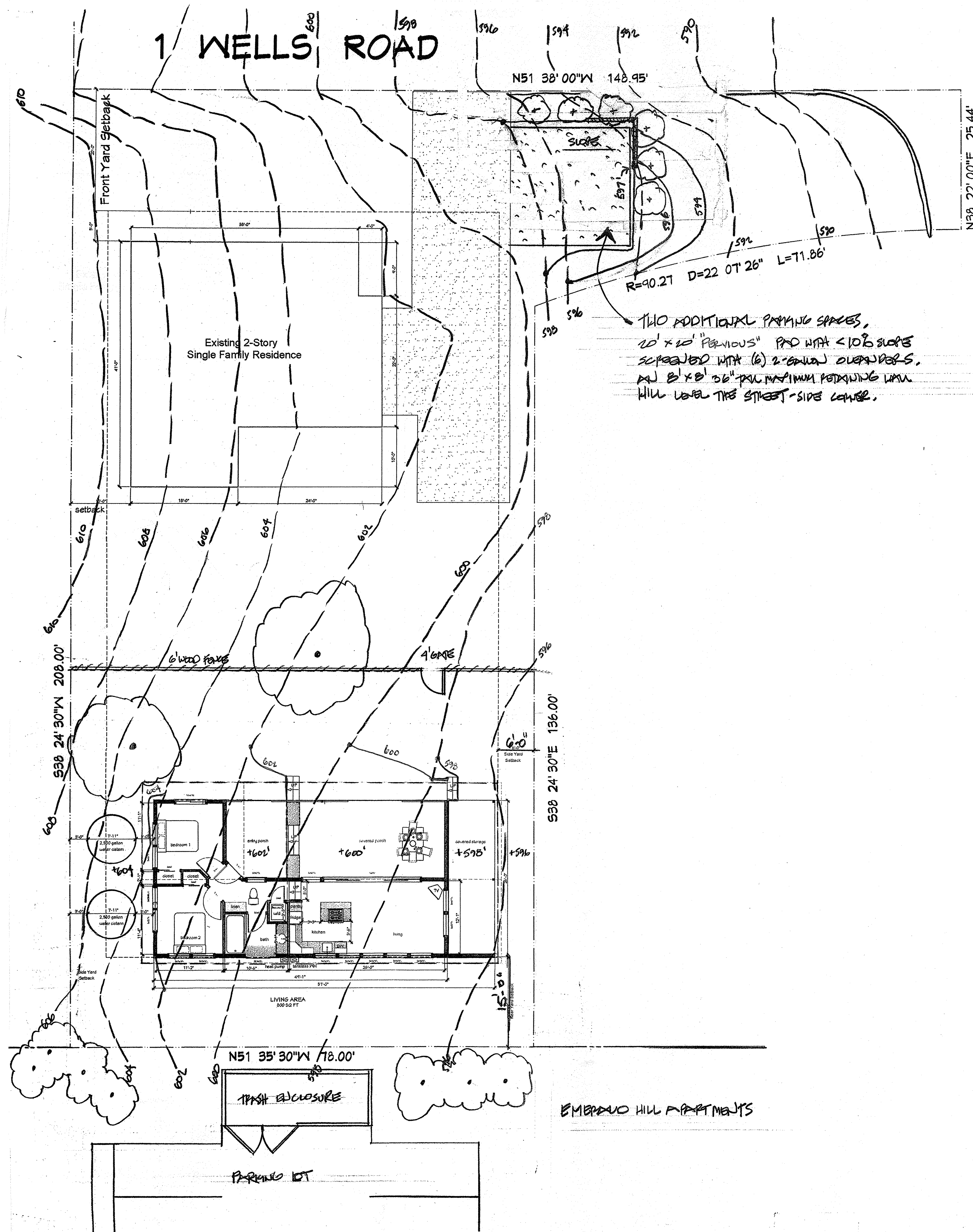


submitted
18 June 2018

ARCHITECT
James Reed Stroupe
P.O. Box 388
Aptos, CA 95001
(831) 688-3300

APN Map, Project Data
and Drawing Index

Another Dwelling Unit
1 Wells Road
Scotts Valley, CA 95066
(831) 227-1073



Plot Plan

1/10" = 1'-0"

SITE NOTES

- 1 This is ~~REACTIVE~~ FLAT.
- 2 There are no watercourses located within 200 feet of this parcel.
- 3 There is no curb or gutter on this street.
- 4 There is no existing storm drain on this property and no catch basin or other storm drainage inlet is being proposed.
- 5 The closest storm drain inlet is across the street and the street is crowned.

EROSION CONTROL NOTES

- 1 Winter grading season is from 15 October to 15 April.
All exposed soils must be protected during this time.
- 2 Disturb as small an area as possible.
- 3 Replant all disturbed areas with permanent landscaping or seed mix.

SEED AND STRAW MULCH

- 1 Seed and straw mulch is to be used for soil disturbed areas as a means of temporary protection until permanent stabilization is established. It may be used on slopes up to 3:1 H:V (33%).
- 2 Seed and straw mulch shall consist of spreading seed (a minimum of 5 pounds per 1,000 square feet) over disturbed areas and then placing a uniform layer of straw (2-3 bales per 1,000 square feet) incorporating it into the soil with a tilled roller or anchoring it with a tackifier stabilizing emulsion.
- 3 In areas that are not sensitive habitat, the seed shall be annual winter barley and the straw shall be derived from rice, barley or wheat.

SEDIMENT CONTROL NOTES

- 1 Fiber rolls are to be placed at the down slope perimeter of the disturbance limits to prevent or limit sediment from leaving the site. In urban areas or sites directly adjacent to streets, fiber rolls shall be placed at the back of a sidewalk or curb to limit sediment from entering the street.
- 2 Fiber rolls must be adequately trenched to be effective.

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

- 1 All loose stockpiled construction materials that are not actively being used shall be covered and bermed. (i.e. soil, spoils, aggregate, fly-ash, hydrated lime, etc.)
- 2 All chemicals shall be stored in water-tight containers with appropriate secondary containment to prevent any spillage or leakage or in a completely enclosed storage shed.
- 3 Exposure of construction materials to precipitation shall be minimized.
This does not include materials and equipment that are designed to be outdoors and exposed to environmental conditions. (i.e. poles, equipment pads, cabinets, conductors, insulators, bricks, etc.)
- 4 Implement Best Management Practices to prevent the off-site tracking of loose construction and/or landscape materials.

LANDSCAPE MATERIALS

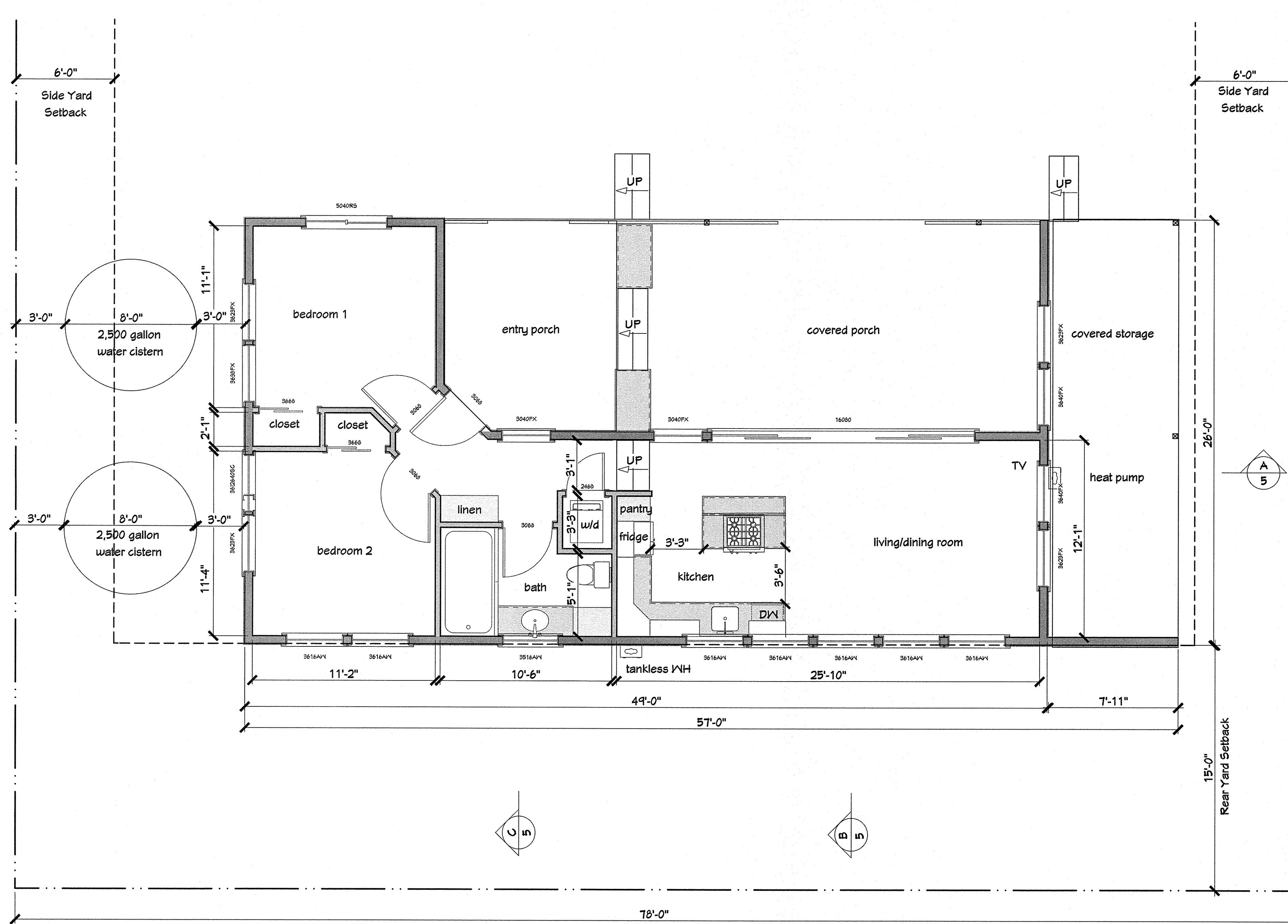
- 1 Contain stockpiled materials such as mulches and topsoil when they are not actively being used.
- 2 Contain fertilizers and other landscape materials when they are not actively being used.
- 3 Discontinue the application of any erodible material within 2 days before a forecasted rain event or during periods of precipitation.
- 4 Apply erodible landscape material at quantities and application rates according to manufacturer's recommendations or based on written specifications by knowledgeable and experienced field personnel.
- 5 Stack erodible landscape material on pallets and covering or store such materials when not being used or applied.

VEHICLE STORAGE AND MAINTENANCE

- 1 Measures shall be taken to prevent oil, grease or fuel from leaking into the ground, storm drains or surface waters.
- 2 All equipment and vehicles which are fueled, maintained and/or stored on-site shall be in a designated area fitted with appropriate BMP's.
- 3 All leaks shall be immediately cleaned and all leaked materials shall be disposed of properly.

WASTE MANAGEMENT

- 1 Prevent disposal of any rinse or wash waters or materials onto impervious or pervious site surfaces or into the storm drain system.
- 2 Contain sanitation facilities (e.g. portable toilets) to prevent discharge of pollutants into the storm drain system.
Locate sanitation facilities a minimum 20 feet from any inlet, driveway, street, stream, riparian area of other drainage facility.
- 3 Inspect sanitation facilities regularly for leaks and spills. Clean and replace as necessary.
- 4 Cover waste disposal containers at the end of every day and during any rain event.
- 5 Prevent discharges from waste disposal containers to the storm water drainage system or receiving water.
- 6 Contain and protect stockpiled waste materials from wind and rain at all times unless actively being used.
- 7 Implement procedures that actively address hazardous and non-hazardous spills.
- 8 Keep available on site all equipment and materials necessary for cleanup of spills and leaks so they can be cleaned up immediately and disposed of properly.
- 9 Contain concrete washout areas and all other washout areas that may have additional pollutants so there is no discharge into the underlying soil and onto the surrounding areas.



KEY TO WINDOW AND DOOR SYMBOLS

WINDOWS

FX	fixed glass
SC	single casement
SH	single hung
LS	slider, OX
XOX	center panel slides open

DOORS

SLDR	sliding glass door, tempered
OHDR	overhead garage door

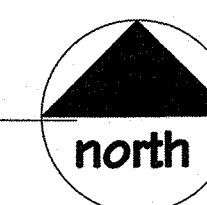
PLAN NOTES

- 1 All habitable rooms shall have 8% of their floor area in natural light from windows, doors and skylights.
- 2 All habitable rooms shall have 4% of their floor area as natural ventilation.
- 3 Minimum ceiling height shall be 7'-6" in all rooms except kitchens, baths and halls, which shall have a minimum ceiling height of 7'-0".
- 4 All glass shall be tempered when it is in a door or shower enclosure, over a bath, shower or stairway.
- 5 All exterior doors shall have a minimum landing 44 inches perpendicular to the door and the full width of the door opening.
- 6 Egress/rescue windows shall have a minimum net clear openable area of 5.7 square feet. Their minimum net clear openable height shall be 24 inches. Their minimum net clear openable width shall be 20 inches. Their net clear opening shall not be more than 44 inches above the finished floor.
- 7 All concrete flatwork at courtyard shall be 2,500 PSI concrete 5 inches thick with #3 bars at 18" on center each way on 6 inches of 90% compacted baserock. See Upp soils report.

Proposed Floor Plan, 800 square feet Conditioned Area + 685 Covered Porch

1/4" = 1'-0"

Dimensions are to face of stud unless noted otherwise.



submitted
08 February 2018

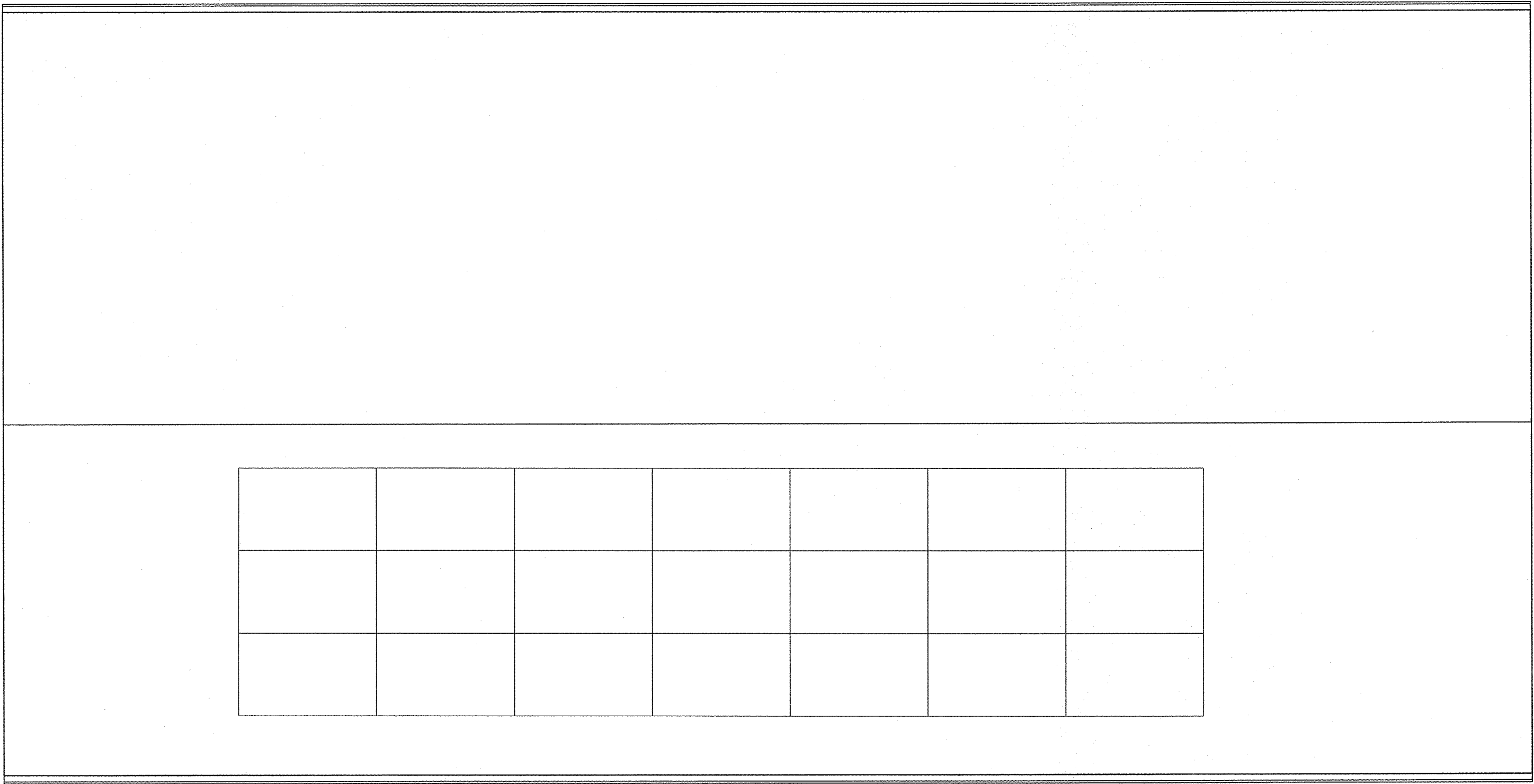
ARCHITECT
James Reed Stroupe
P.O. Box 388
Aptos, CA 95001
(831) 688-3300

Floor Plan

Another Dwelling Unit
1 Wells Road
Scotts Valley, CA 95066
(831) 227-1073
APN 022-082-51

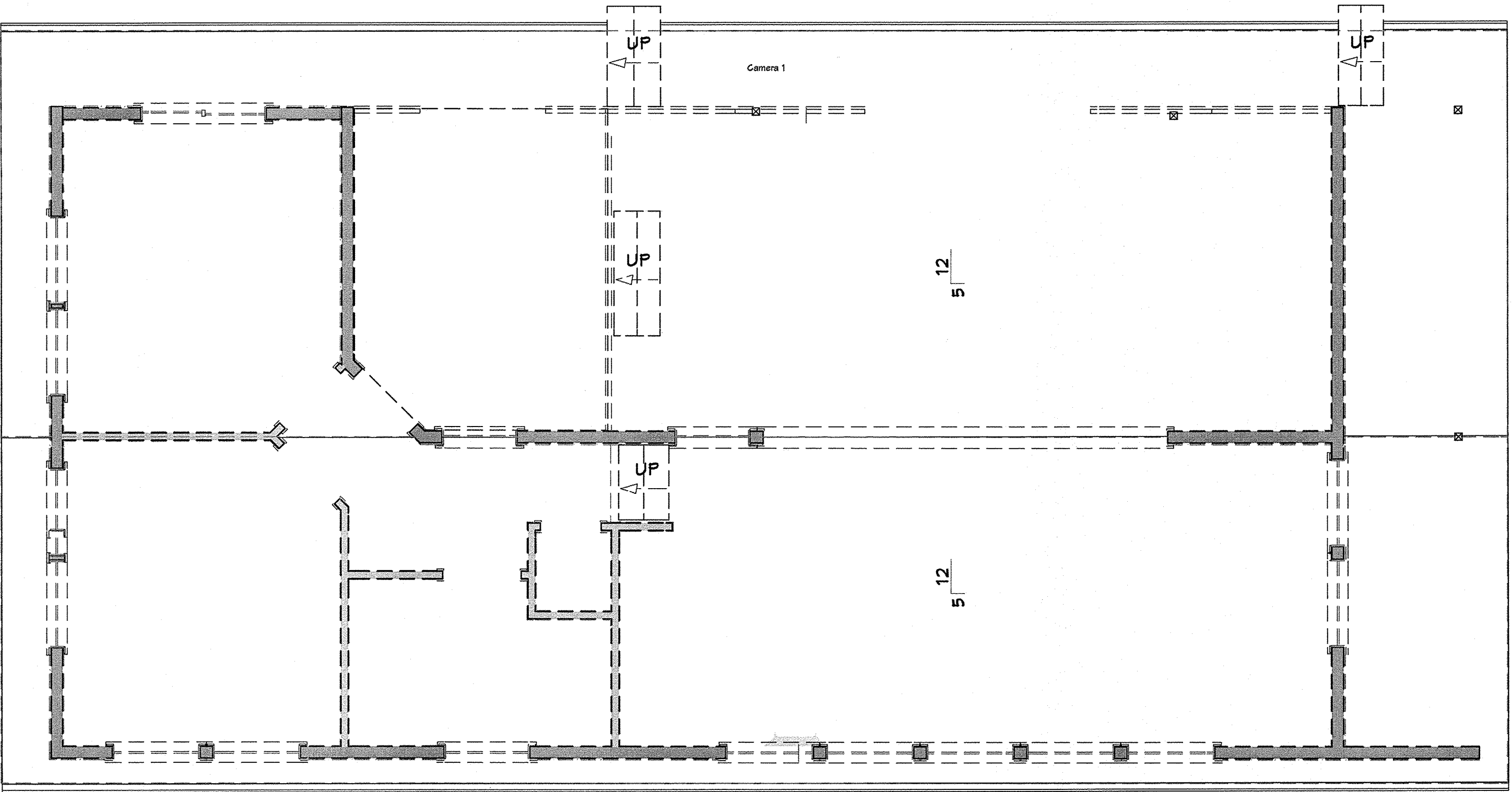
sheet number

3
of 7



(3) rows of (7) solar panels
each panel is 5.4 feet wide x 3.25 feet tall.

B Solar Panel Layout on South Roof Slope
1/4" = 1'-0"

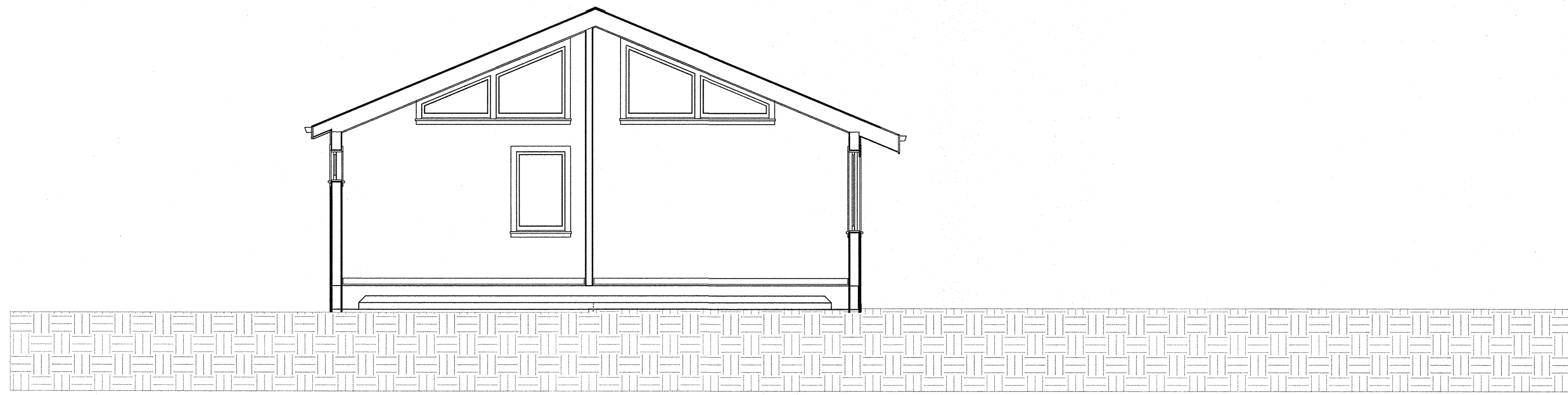


ROOF FRAMING SYSTEM
Provide 5/8-inch oriented strand board (OSB) with radiant barrier with 10d nails at 6 inches on center edges and field on 2x12 DF#2 rafters at 24 inches on center.
Provide 12-inch overhangs at South and gable ends.
Provide 36-inch overhang at North.

NOTE :
Provide translucent corrugated plastic roof over all porches.

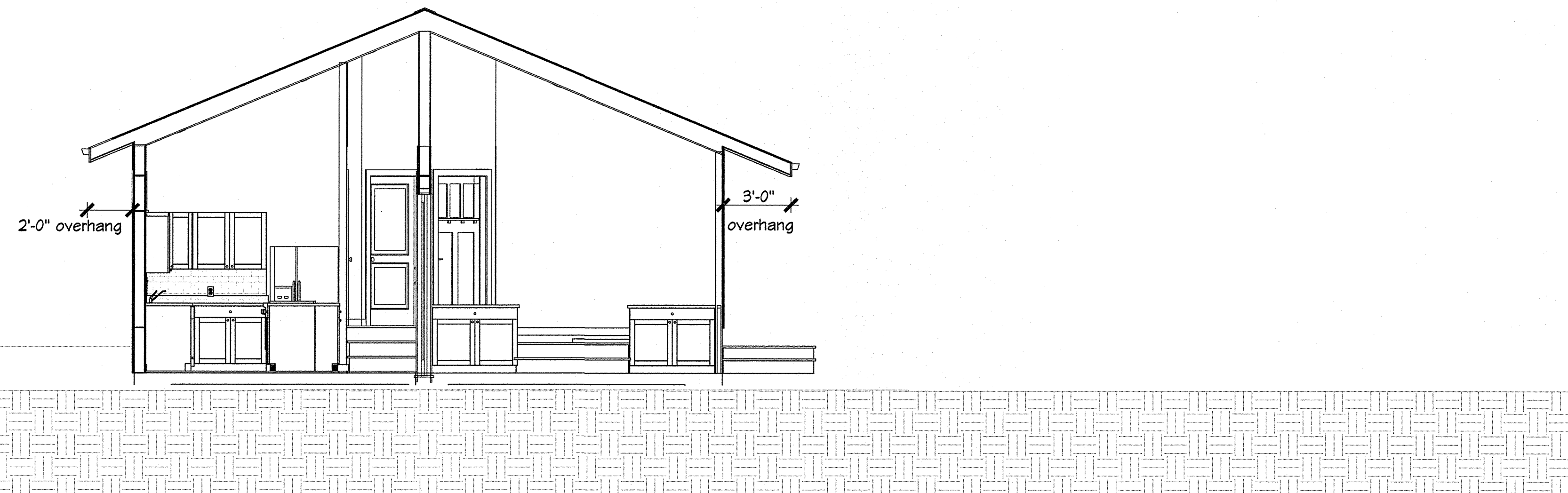
A Roof Plan
1/4" = 1'-0"





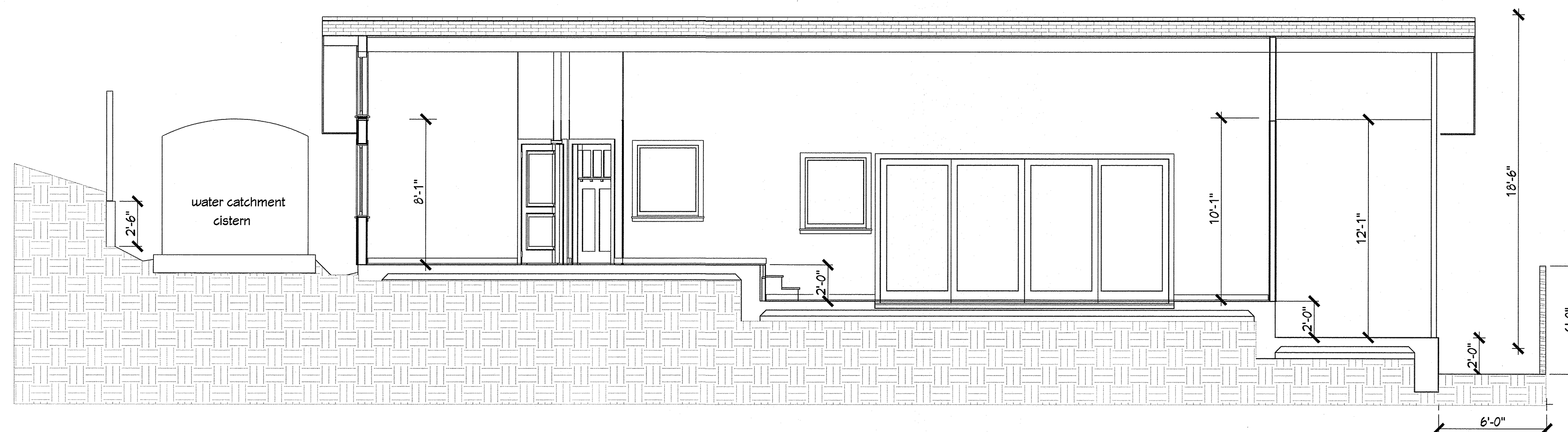
Transverse Building Section C Through Two Bedrooms

1/4" = 1'-0"



Transverse Building Section B

1/4" = 1'-0"



Longitudinal Building Section A

1/4" = 1'-0"

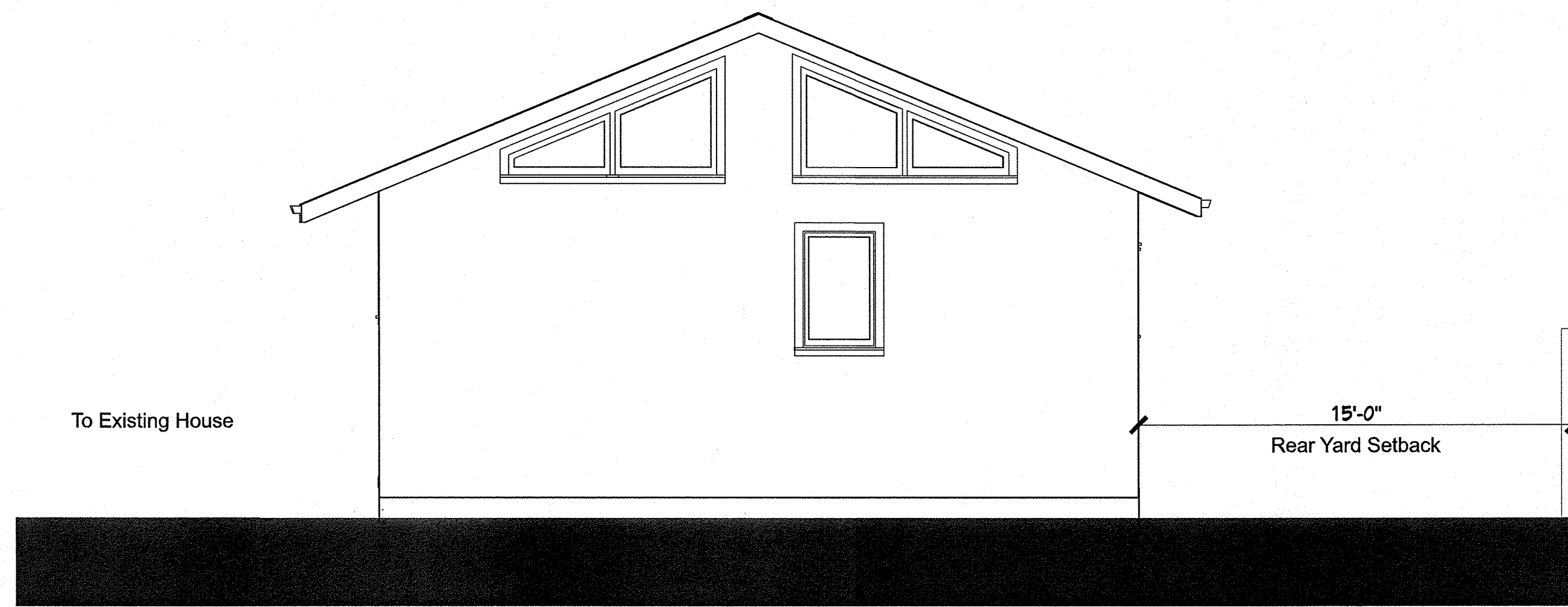
Insulation and Caulking Notes

1 Provide spray cellulose insulation at roof and wall cavities and as follows:

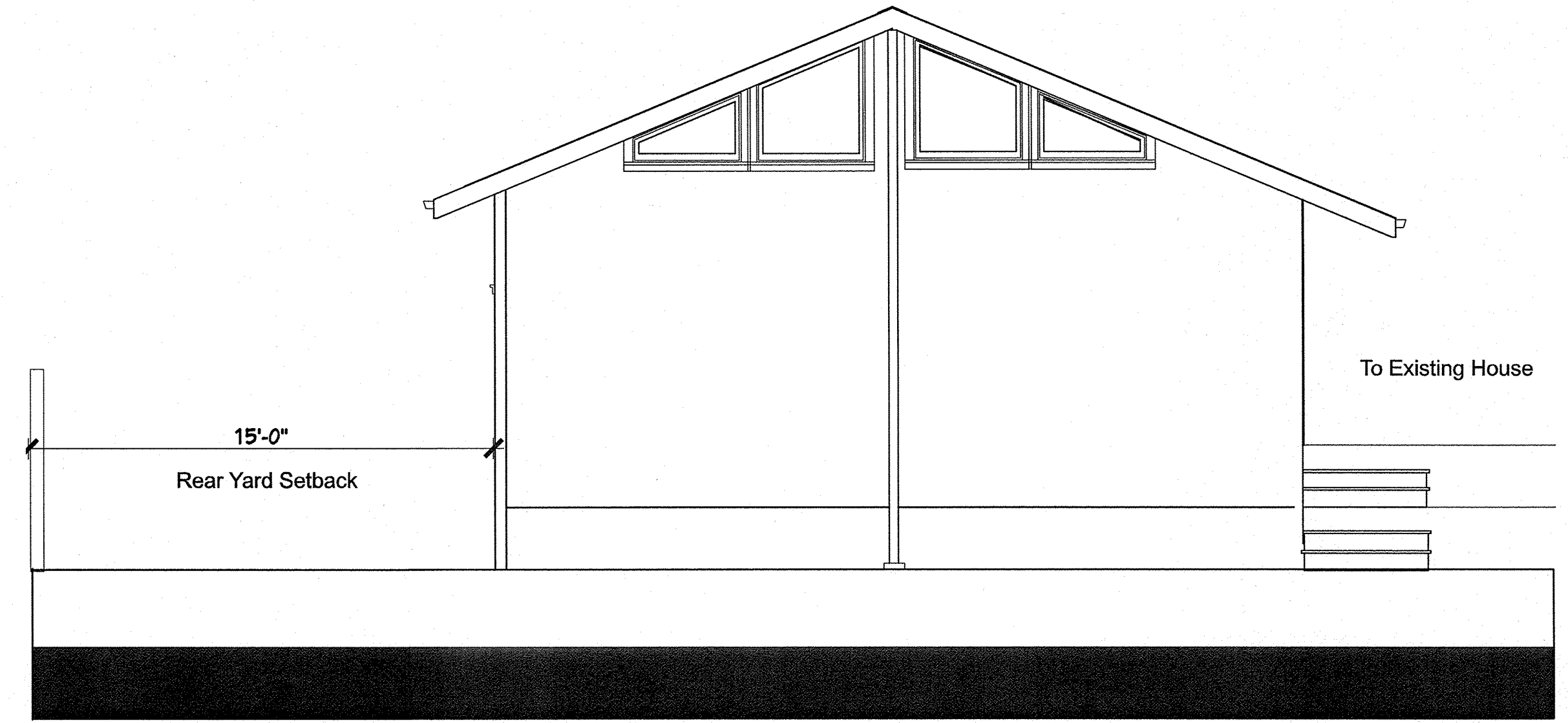
Roof R-38C, 10-1/4 inches thick
Walls R-23, 5-1/4 inches thick

NOTE : Provide full R-15 sound insulation at all interior walls

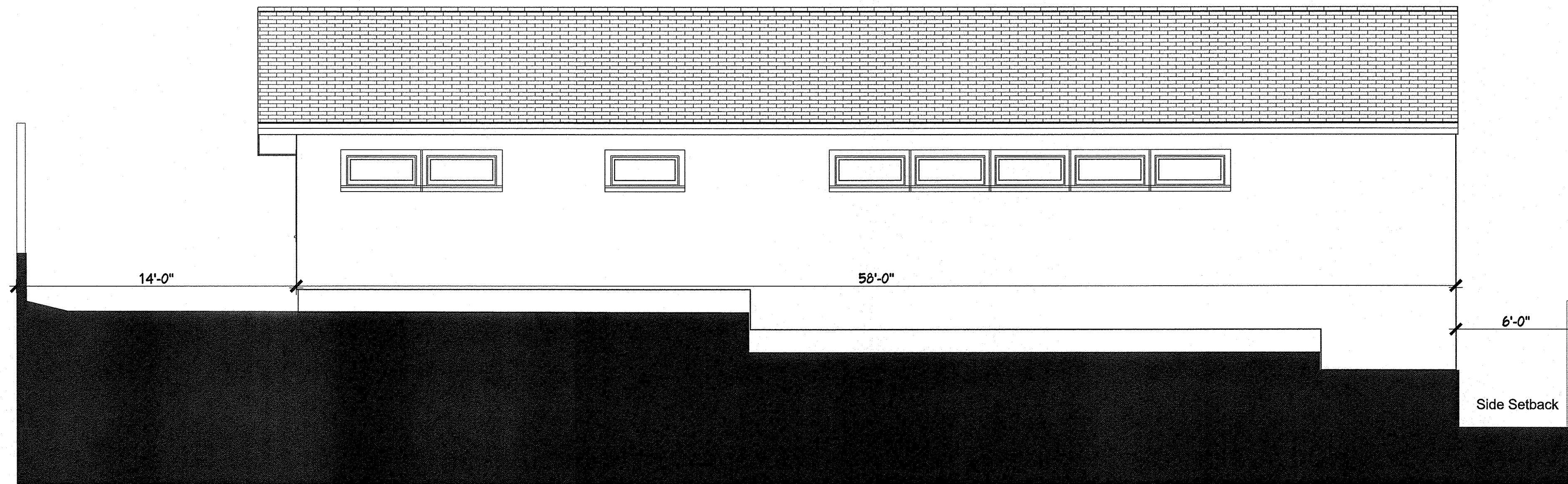
2 Provide expanding foam spray-on insulation at all plate lines, penetrations in exterior sheathing, penetrations of drywall finish at exterior walls. Provide low-VOC caulking manufactured by OSI Industries.



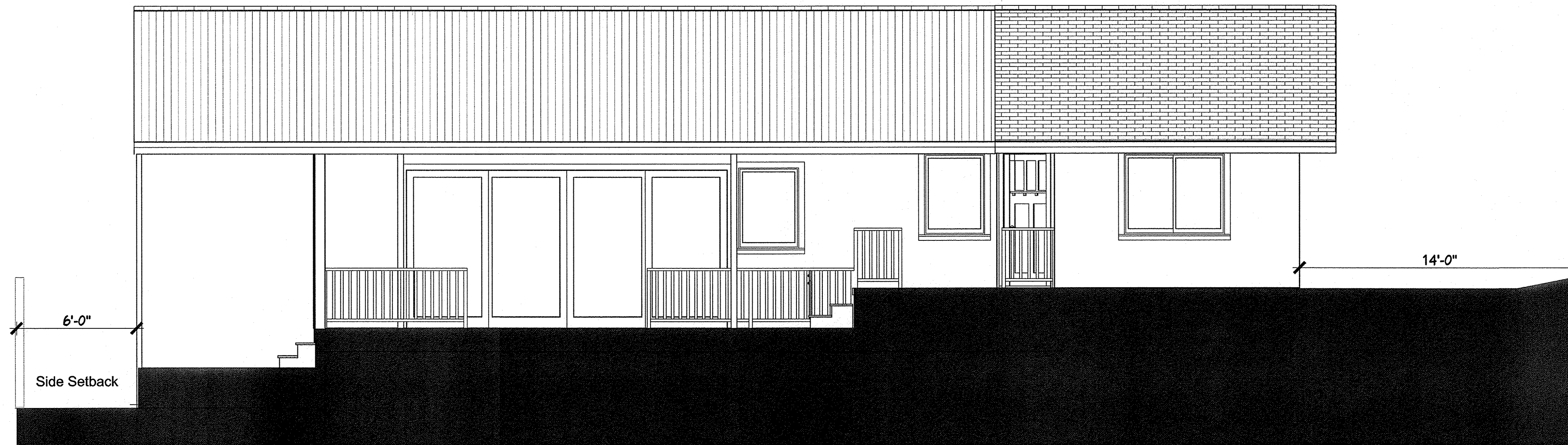
D West Elevation, Right Side Uphill
1/4" = 1'-0"



C East Elevation, Left Side Downhill
1/4" = 1'-0"



B South Elevation, Rear Neighbor
1/4" = 1'-0"



A North Elevation, Front Entry View From Existing House
1/4" = 1'-0"

EXTERIOR MATERIALS

corrugated metal roof painted to match main house
on 1 layer GAF Deck-Armor Breathable underlayment
on 15/32 LP TechShield radiant barrier sheathing
on 2x12 rafters at 24 inches on center.
Corrugated clear polycarbonate over porch.
Roof shall have no less than a Class "A" fire rating.

Dual-glazed vinyl windows with locks and screens.
with wood trim inside and accent trim color to be selected by Owner.
Milgard or equal.
See Title 24 calculations for required "U" value.

HardiePlank cement siding
painted yellow to match main house
with white door and window trim
also to match main house
on 15/32 OSB wall sheathing.

Porch floor finish shall be stone or tile selected by Owner
over waterproof coating on concrete slab-on-grade.
Add Xypex water-resisting additive to all concrete.

submitted
27 June 2018

ARCHITECT
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(831) 688-3300

Exterior Elevations

Another Dwelling Unit
1 Wells Road
Scotts Valley, CA 95066
(831) 227-1073
APN 022-082-59

KEY TO ELECTRICAL, MECHANICAL
AND PLUMBING SYMBOLS

—C	cold water supply with stop	FAU	forced air unit
—H	hot water supply with stop	WH	hot water heater
—G	natural gas supply with valve	ODO	overhead door operator
air	supply air, wall or toe kick register	S	ceiling-mounted smoke detector
—HB	cold water hose bibb	CO	ceiling-mounted CO2 detector
—G	gas meter	□	ceiling-mounted light fixture
—E	electric meter	®	recessed downlight
—B	doorbell at 42" above finish floor (AFF)	●	recessed can wall washer
—C	door chime at 90" AFF	⊗	recessed exhaust fan
△	telephone jack at 12" AFF	⊕	duplex wall outlet at 12" AFF UNO
△	cable television jack at 12" AFF	⊕	220-volt wall outlet
⚡	single pole switch at 44" AFF	⊕	GFCI ground fault interrupted outlet at 42" AFF UNO
⚡D	continuous slide dimmer switch	⊕	WP weatherproof outlet with cover, GFI
—	under-cabinet LED rope lighting	3	three-way switch

Whole House Fan

Install a whole house fan with insulated louvers at the Northwest wall of Kitchen just below ceiling per 2019 Green Building Code Section A4.207.9. Minimum fan size shall be $3,935/100 + (7.5 \times 6) = 84.95$ CFM. Sone rating shall be 3.

Fire Sprinkler Notes

- The entire building shall be protected by an approved autosprinkler system complying with the edition of NFPA 13D currently adopted by Chapter 60 of the California Building Code.
- The sprinkler system designer/installer shall submit 3 sets of plans and calculations for the underground and overhead "Residential Automatic Sprinkler System" to the Santa Clara County Fire Department for their review and approval. Installation shall follow their guide sheet.

NOTE

Provide open electrical conduit with pull-string at all four corners of the building for ease of future expansion or need for power to site.

Electrical Notes

- Provide an UFER ground for the electrical system.
- All outlets in bathrooms shall be GFCI protected.
- All countertop outlets in the kitchen shall be GFCI protected.
- Provide arc-fault Interrupter outlets in every bedroom.
- All recessed light fixtures shall be "IC" rated. (CEC 410.66)
- Provide receptacle outlets at countertop adjacent to oven. (CEC 210.52)
- Provide a dedicated 20-amp circuit to serve each bathroom's outlets.
- All outlets in the garage shall be GFCI protected unless dedicated to fixed equipment.
- LED lighting, operated by the first switch entering the room, shall provide general lighting in the kitchen.
- Provide an electrical bond between hot, cold, and gas lines at the water heater.
- Provide a receptacle in the kitchen for each counter wider than 12 inches so that no point is more than 24 inches from an outlet. (CEC 210.52)
- Provide 2 small appliance branch circuits for the kitchen limited to supplying wall counter space outlets only. (CEC 210.11)
- All branch circuits that supply 125-volt, single phase, 15 and 20 ampere outlets (i.e. receptacles,

lights, smoke alarms, etc.) to be protected by Arc-Fault Circuit Interrupter (AFCI) listed to provide protection to the entire branch circuit per CEC 210.12(B) except those circuits requiring protection by GFCI per CEC 210.8(A).

- LED lighting operated by the first switch entering a room shall provide general lighting in the room where any bath or shower is located.
- All electrical penetrations at the floor and ceiling plates are to be sealed with a residential fire caulk with an ASTM-E136 rating.
- Fixtures mounted less than T-6" above the maximum water level shall be listed for use at damp locations and GFCI protected. If fixtures are mounted more than T-6" above the maximum water level they will require GFCI protection only.

Mechanical Notes

- Provide a backdraft damper on the clothes dryer.
- Provide a backdraft damper on the laundry ceiling exhaust fan vent to the outside with smooth wall duct.
- The source of combustion air for the laundry room shall be through the door undercut only. No louvers are required in the door.
- All mechanical penetrations at the floor and ceiling plates are to be sealed with a residential fire caulk with an ASTM-E136 rating.
- Provide radiant heating under all new bathroom floors, electrical resistance mats in mortar bed.

Plumbing Notes

- All hose bibbs shall have backflow prevention devices.
- Provide two seismic straps at the water heater.
- Provide a wall cleanout for each sink. (CPC 707.4, exception 1)
- Provide hot water heater temperature and pressure balancing valve with drain line discharge to the exterior. (CPC 608.5)
- Locate gas valve for fireplace outside of required hearth area and no more than 36 inches from fireplace opening. (CPC 1211.7 and 1211.18)
- All plumbing penetrations at the floor and ceiling plates are to be sealed with a residential fire caulk with an ASTM-E136 rating.
- All building water supply systems in which quick acting valves are installed shall be provided with devices to absorb the caused by high pressures resulting from the quick closing of these valves. Water hammers shall be installed as close as possible to these valves (CPC Section 609.10)
- All water heaters shall be provided with a drain pan and drain line to outside the foundation.
- If underfloor cleanouts are located more than 20 feet from the underfloor access, then cleanouts for those lines shall be extended to the building exterior.
- Install an approved backflow device on the potable service connection due to the onsite cisterns.

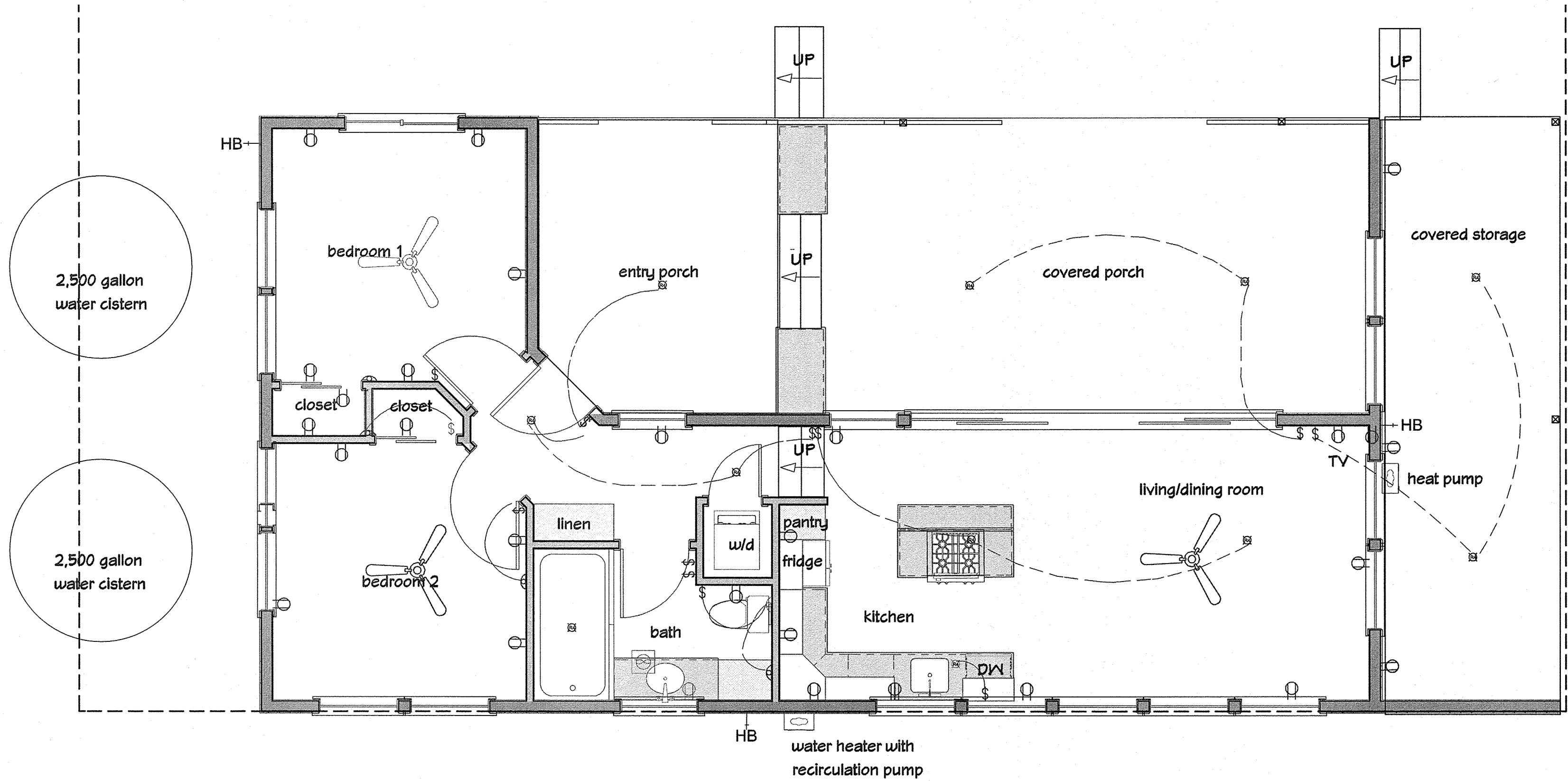
TITLE 24 NOTES

- KITCHEN - At least 50% of all installed luminaire wattage must be high efficacy (HE)* lighting and must be switched separately from non-HE lighting. See calculated wattages on form WS-5R.
- BATHROOM, LAUNDRY, GARAGE and UTILITY ROOM - All installed luminaire wattage must be HE lighting, unless lighting is controlled by occupancy sensors, must be manual on a motion sensor and must not have an "always on" option.
- ALL OTHER ROOMS GREATER THAN 70 SQUARE FEET - All installed luminaire wattage must be HE lighting, unless lighting is controlled by occupancy sensors or dimmer switches, must be manual on a motion sensor and must not have an "always on" option.
- RECESSED LUMINAIRES IN INSULATED CEILING must be approved for zero clearance insulation cover and be certified air-tight.
- OUTDOOR LIGHTING - All HE lighting unless lighting is controlled by a certified motion sensor and photocontrol or it is landscape lighting, not attached to the building, in or around swimming pools or water features.

* High Efficacy lighting (HE) must not contain medium based incandescent sockets, except outdoor high intensity discharge lighting (HID) containing an HID lamp and factory-installed hardwired HID ballast and HID rated socket meeting minimum lumens per watt as follows :

15 WATT OR LESS	= MINIMUM 40 LUMENS PER WATT
15 TO 40 WATTS	= MINIMUM 50 LUMENS PER WATT
OVER 40 WATTS	= MINIMUM 60 LUMENS PER WATT

Lamps rated 13 watts or greater shall have electronic ballast with an output frequency of at least 20 Hertz.



Electrical, Mechanical and Plumbing Plan

1/4" = 1'-0"

north

submitted
27 June 2019

ARCHITECT
James Reed Stroupe
P.O. Box 388
Aptos, CA 95001
(831) 688-3300

Electrical, Mechanical
and Plumbing Plan

Another Dwelling Unit
1 Wells Road
Scotts Valley, CA 95066
(831) 227-1073
APN 022-082-59

sheet number

7

of 7

**City of Scotts Valley
PLANNING COMMISSION
STAFF REPORT**

Applicant: Brendan Moran / Solar Technologies

Property Owner: Central Coast Alliance for Health / Ryan Inlow

Application: Design Review No. DR18-006

Location: 1600 Green Hills Road / APN 024-261-03

General Plan / Zoning: Light Industrial / I-L

Environmental Status: Categorically Exempt: Class 1-Existing Facilities

Request: Consideration of a Design Review application to install four solar carports in the parking lot and rooftop solar arrays on an existing commercial building.

Staff Planner: Brenda Stevens, Assistant Planner

STAFF RECOMMENDATION

It is recommended that the Planning Commission approve Design Review DR18-006, by adoption of the attached resolution, subject to the conditions in Exhibit A.

PROJECT DESCRIPTION

The applicant is requesting to install four solar carports in the parking lot and rooftop solar arrays on an existing commercial building located at 1600 Green Hill Road (Attachment 1 - Location Map).

PROJECT DISCUSSION

The project site is in the Light Industrial (I-L) zoning district. Per Section 17.26.050.A of the Scotts Valley Municipal Code (SVMC), architectural and site plan review is required for all structures and alterations to structures in the I-L zoning district. Furthermore, per Section 17.26.050.D of the SVMC, all roofs shall be architecturally designed to provide an appearance which is compatible with the exterior walls of the building. The Planning Commission shall review and approve the roofscape.

The following is a review of the project's compliance with the General Plan and Zoning Requirements.

Visual Impact

This building is one of four large commercial buildings in a row along Green Hills Road in the I-L zoning district. Each of the buildings has a similar architectural style and dark colored exterior walls which blends in well against the background of the forested hillside. The solar panels on the building rooftop are designed to have minimal visual impact and will mostly be screened behind the roof parapet. The four solar panels on the carport canopies will total 16,022 square feet and would be located in the parking lot south of the building. Two canopies will measure 16 feet, 3 inches in height and two canopies will measure 19 feet, 3 inches. The solar panels will be visible from street level and the adjacent freeway. The canopies will cover less than 15 percent of the 184,258 square foot site. (Attachment 2).

Trees

Numerous trees are on site and no trees are proposed for removal.

ATTACHMENTS

Page #

Resolution No. _____ to Approve Design Review DR16-016 (Action Item)

- | | | |
|----|---|----------|
| 1. | Location Map. | 6 |
| 2. | Project Plans (received July 18, 2018).. | Attached |

RESOLUTION NO. _____

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY
OF SCOTTS VALLEY APPROVING DESIGN REVIEW DR18-006
TO INSTALL FOUR SOLAR CARPORTS IN THE PARKING LOT
AND ROOFTOP SOLAR ARRAYS ON AN EXISTING
COMMERCIAL BUILDING LOCATED IN THE LIGHT INDUSTRIAL
ZONING DISTRICT AT 1600 GREEN HILLS ROAD /
APN 024-261-03.**

WHEREAS, the Planning Department of the City of Scotts Valley has received an application filed by Brendan Moran / Solar Technologies, for Design Review DR18-006 to install four solar carports in the parking lot and rooftop solar arrays on an existing commercial building located in the Light Industrial (I-L) zoning district at 1600 Green Hills Road / APN 024-261-03.

WHEREAS, the project is determined to be categorically exempt from CEQA, Class 1 - Existing Facilities (Section 15301); and,

WHEREAS, the project was reviewed by the Planning Commission at a duly noticed public hearing on Thursday, August 9, 2018.

NOW THEREFORE, the Planning Commission of the City of Scotts Valley hereby resolves as follows:

SECTION 1: The environmental determination represents the independent judgement of the City.

SECTION 2: The categorical exemption is hereby approved.

SECTION 3: The Planning Commission of the City of Scotts Valley does hereby specifically make the following findings, as further clarified in the Planning Commission staff report dated Thursday, August 9, 2018:

1. *The siting of the structure on the site as compared with the siting of other structures in the immediate neighborhood is appropriate.* The solar panels would be compatible with the architectural design of the professional buildings in the immediate neighborhood.
2. *The materials, colors, proportion, mass, and detail of the exterior improvements are in good proportion, have simplicity of mass and detail, and are compatible with the appearance of the surrounding structures.* The materials, colors, proportion, mass, and detail of the improvements is in good proportion and is compatible with the appearance of the surrounding structures. The architectural style and dark colored exterior walls blend in well against the background of the forested hillside.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff report, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve Design Review DR18-006 to install four solar carports in the parking lot and rooftop solar arrays on an existing commercial building. commercial building located in the Light Industrial (I-L) zoning district at 1600 Green Hills Road / APN 024-261-03 subject to the conditions set forth in the Attached Exhibit A, which are attached hereto and incorporated herein by this reference.

SECTION 5: Design Review DR18-006 shall lapse and shall be come void two (2) years from the date of this resolution unless prior to the expiration date, a building permit is issued by the Building Division and construction has commenced and diligently pursued toward completion, or an extension of this approval is granted by the Planning Commission.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on the 9th day of August 2018, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Derek Timm
Planning Commission Chair

Taylor Bateman
Community Development Director

EXHIBIT A
CONDITIONS OF APPROVAL
(Numbers X)

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. After Planning Commission approval, the property owner shall sign the Conditions of Approval (Exhibit A) agreeing to the Conditions of Approval prior to the issuance of any building permits, transfer of title, or within 30 days of approval of this application, whichever occurs first.
3. All required building permits shall be obtained and the application shall pay all appropriate fees prior to commencement of any construction on the property.

PLANNING DEPARTMENT

4. The color, materials, size, location, and design of the improvements shall match the approved plans. Modifications to the approved project may require approval by the Planning Commission at the discretion of the Community Development Director.

BUILDING DEPARTMENT

5. Accessible parking will be required for the stalls located under the new structure. The number of covered stalls will be determined by 2016 CBC 11-B parking ratio based on the number of stalls located under the cover. Path of travel will be required to the entrance of the building.

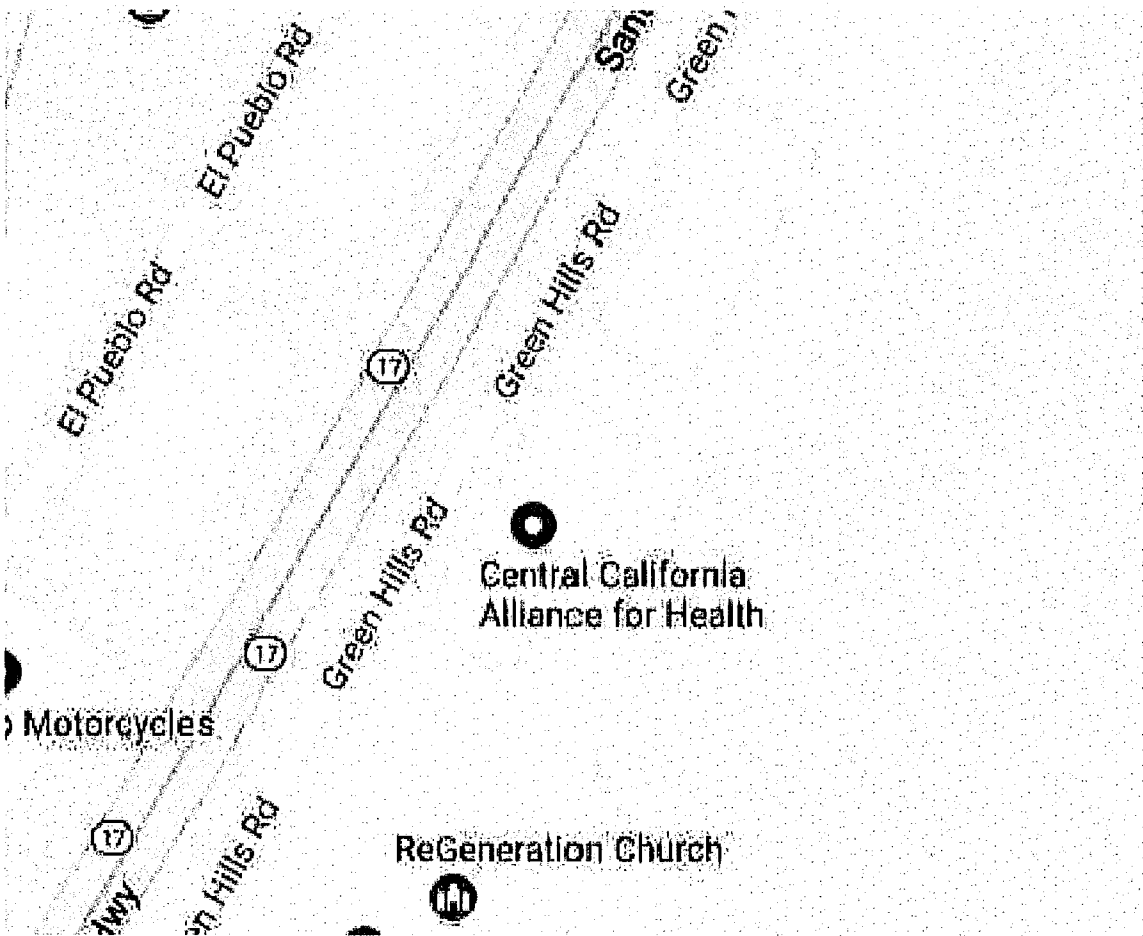
Property Printed Owner Name & Signature

Date

PHOTOVOLTAIC SYSTEM - CCAH-SCOTTS VALLEY-1600

1600 GREEN HILLS RD., SCOTTS VALLEY, CA 95066

Vicinity Map:



Contact Info:

OWNER:
CCAH - SCOTTS VALLEY-1600
1600 GREEN HILLS RD.
SCOTTS VALLEY, CA 95066

GENERAL CONTRACTOR:
SOLAR TECHNOLOGIES
705 N. BRANCIFORTE AVE.,
SANTA CRUZ, CA 95062

PROJECT MANAGER:
BRENDAN MORAN
(530)961-2721

ELECTRICAL ENGINEER:
NATRON RESOURCES
1480 MORAGA ROAD, SUITE C #229
MORAGA, CA 94556

CODE REFERENCES:

1. 2016 CALIFORNIA ELECTRICAL CODE (CEC).
2. 2016 CALIFORNIA FIRE CODE (CFC).
3. 2016 CALIFORNIA BUILDING CODE (CBC).
4. 2016 CALIFORNIA GREEN BUILDING CODE (GBC).

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- A.2.1 - ARRAY PLAN
- A.2.2 - DETAILED ARRAY PLAN-1
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- E.0.1 - ELECTRICAL NOTES
- E.1.1 - ELECTRICAL SITE PLAN
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- S.1.1 - ROOF FRAMING PLAN-1
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- S-101 - SITE PLAN
- S-102 - FOUNDATION & COLUMN PLAN
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- S-105 - COMPONENT PLAN
- S-301 - AISLE CANOPY SECTION
- S-401 - FOUNDATION DETAILS
- S-501 - COMPONENT DETAILS

SCOPE OF WORK:

ALL ELECTRICITY GENERATED IS FOR CONSUMPTION ON SITE.

SYSTEM ELECTRICAL CONNECTION TO MAIN ELECTRICAL SERVICE IS AT 480Y/277V SWITCHGEAR.

PERMIT SHALL INCLUDE LABOR OF INSTALLING PANELS, RUNNING OF ELECTRICAL CONDUITS, INSTALLATION OF NEW ELECTRICAL EQUIPMENT AND ELECTRICAL CONNECTION TO EXISTING BUILDING SERVICE.

NO BATTERIES REQUIRED AS PART OF THIS PROJECT SCOPE.

System Specifications:

PANEL MODEL	SUNPOWER X22-380-COM
NUMBER OF PANELS	1,580
SYSTEM POWER, KWSTC	568.8
SYSTEM POWER, KWAC	506.2
ARRAY SQUARE FOOTAGE	27,756
ARRAY WEIGHT (LBS)	64,780
CONSTRUCTION TYPE	COMMERCIAL
ASHRAE STATION	SAN JOSE INTL AP
ASHRAE 2% HIGH DESIGN TEMP. DB	32
ASHRAE MIN MEAN EXTREME ANNUAL DB	-7

REVISED

RECEIVED
JUL 18 2018

CITY OF SCOTTS VALLEY

PROJECT TITLE:

CCAH - SCOTTS VALLEY
1600 GREEN HILLS RD.
SCOTTS VALLEY, CA 95066

ENGINEER'S STAMP



SOLAR
TECHNOLOGIES
CLEAN ENERGY SOLUTIONS



705 N BRANCIFORTE AVE
SANTA CRUZ, CA 95062

JOB NUMBER: 10645

DATE	ISSUE
07-MAR-18	FOR SUBMITTAL
23-MAY-18	FOR RESUBMITTAL

PAPER SIZE: ARCH D
DRAWN BY: NATRON
CHECKED BY: JHA
APPROVED BY: JHA

SCALE:
NTS

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TITLE PAGE

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