



A G E N D A

Scotts Valley Planning Commission

REMOTE ACCESS ONLY

September 9, 2021

Time: 6:00 PM

CITY OF SCOTTS VALLEY 1 Civic Center Drive Scotts Valley, CA 95066 831-440-5630	MEETING LOCATION City Council Chambers 1 Civic Center Drive Scotts Valley, CA 95066	POSTING: The agenda was posted on August 27, 2021 at City Hall and on the Internet at www.scottsvally.org .
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PUBLIC ADVISORY REGARDING COVID-19

Consistent with Executive Order No. N-29-20 issued by Governor Newsom on March 17, 2020, and the County of Santa Cruz Health Services Agency Shelter In Place Public Health Order dated March 31, 2020, the regular meeting of the Planning Commission for February 18, 2021 will be conducted through videoconference. Planning Commissioners and City Staff members will be participating remotely via videoconference.

Public Participation

The meeting will be available on Zoom. For those wishing to participate via Zoom, you can join from a PC, Mac, iPad, iPhone or Android device by entering or clicking on the following URL: <https://us02web.zoom.us/j/88671741298>

You will be given an opportunity to provide public comment at the appropriate times throughout the meeting via Zoom.

How to comment via Zoom:

1. At the appropriate times during the meeting for public comment on items not on the agenda and on specific agenda items, the Planning Commission Chair will announce that public comment will be accepted. Our usual time limits of three minutes per individual, or five minutes for an individual who is representing a group of three or more, will apply. Please note that per our standard practice, this is not a question and answer time, but simply a time for you to provide comments to the Planning Commission.
2. There is an option on Zoom to raise your hand. Please click on this option when the Chair announces that public comments will be taken. If you are participating via dial-up only, use *9 to raise your hand at the requested time. Zoom places people in line automatically. When it is your turn, you will be un-muted and you

will be able to make your comments based on the above time frames. Once your time is up, you will once again be muted and the next person in line will be given their opportunity to speak.

Appointed Officials	City Staff Members
Lori Gentile, Vice Chair David Hodgins, Commissioner Chuck Maffia, Commissioner Steven Horlock, Commissioner	Taylor Bateman, Community Development Director Jonathan Kwan, Contract Planner

Notice regarding Planning Commission Meetings:

The Planning Commission meets regularly on the 2nd Thursday of each month (unless otherwise noticed) at 6pm in the City Hall Council Chambers located at 1 Civic Center Drive, Scotts Valley, CA 95066.

Agenda and Agenda Packet Materials:

The Planning Commission agenda and the complete agenda packet are available for review by 5pm the Friday before the Thursday meeting on the Internet at the City's website: www.scottsvalley.org/AgendaCenter, City Hall is closed to the public therefore, the agenda is only available for viewing online.

CALL TO ORDER

(The Planning Commission Chair calls the meeting to order.)

ROLL CALL

(Planning Department staff conduct roll call of the Planning Commission.)

PUBLIC COMMENT TIME

This is the opportunity for individuals to make and/or submit written or oral comments to the Commission on any items within the purview of the Commission, which are NOT part of the Agenda. No action on the item may be taken, but the Commission may request the matter be placed on a future agenda.

ALTERATIONS TO CONSENT AGENDA

(The Commission can remove or add items to the Consent Agenda.)

CONSENT AGENDA

(The Consent Agenda is comprised of items which appear to be non-controversial. Persons wishing to speak on any items may do so raising their hand to be recognized by the Chair. These items will be acted upon in one motion unless they are removed from the consent agenda for discussion by the Commission.)

ALTERATIONS TO PUBLIC HEARING AGENDA

(Commission can remove or add items to the Regular Agenda.)

PUBLIC HEARING AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

1. **Location:** 123 S Navarra Drive / APN 024-141-24
Planning Permit Application: U21-002
Applicant: Lindsay Toscano, Lindsay Toscano Architect
Property Owner: Bill & Regina Tershly
Project Description: Consideration to Amend Use Permit U03-002 to increase the maximum capacity of the existing preschool and childcare facility from 88 full and part time students to 110 full and part time students.
Staff Planner: Jonathan Kwan, Contract Planner, jonathank@csgengr.com

ALTERATIONS TO REGULAR AGENDA

(Commission can remove or add items to the Regular Agenda.)

REGULAR AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

DISCUSSION ITEMS AND FUTURE AGENDA ITEMS(The Planning Commission or Community Development Director may request to schedule items on future agendas.)

WRITTEN COMMUNICATIONS – FOR INFORMATION ONLY DIRECTOR UPDATES

(The Community Development Director may provide any department or city updates that are available.)

ADJOURNMENT

(Adjournment shall be no later than 11pm unless extended by a four-fifths vote of all Planning Commission members or a unanimous vote of the members present per City Municipal Code Section 2.21.010.)

The City of Scotts Valley does not discriminate against persons with disabilities. The City Council Chambers is an accessible facility. If you wish to attend a Planning Commission meeting and require assistance such as sign language, a translator, or other special assistance or devices in order to attend and participate at the meeting, please call the Community Development Department at 831-440-5630 five to seven days in advance of the meeting to make arrangements for assistance. If you require the agenda of a Planning Commission meeting be available in an alternative format consistent with a specific disability, please call the Community Development Department. The California State Relay Service (TTY/VCO/HCO to Voice: English 1-800-735-2929, Spanish 1-800-855-3000; or, Voice to TTY/VCO/HCO: English 1-800-735-2922, Spanish 1-800-855-3000), provides Telecommunications Devices for the Deaf and Disabled and will provide a link between the TDD caller and users of telephone equipment.

STAFF REPORT

Applicant: Lindsay Toscano, Lindsay Toscano Architect

Property Owner: Bill & Regina Tershy

Application: Use Permit U21-002

Location: 123 S Navarra Drive
APN 024-141-24

General Plan/Zoning: Public / Quasi Public
P (Public / Quasi Public)

Environmental Status: CEQA Categorical Exemption, Class 14
Section 15314, Minor Additions to Schools

Request: Consideration to Amend Use Permit U03-002 to increase the maximum capacity of the existing preschool and childcare facility located at 123 South Navarra Drive from 88 full and part time students to 110 full and part time students.

Staff Planner: Jonathan Kwan, Consultant Planner

STAFF RECOMMENDATION

It is recommended that the Planning Commission review the proposed application and approve Use Permit application U21-002 by adoption of the attached resolution with the conditions in Exhibit A.

BACKGROUND

In 2003, the Planning Commission approved Use Permit No. U03-002 (Attachment 3) to allow a Montessori School use at the existing building at 123 S Navarra Drive. The total enrollment was capped at 88 students and the maximum number of students in attendance at any one time during the day was limited to 67 students. The hours of operations were limited to 7:00 am to 6:00 pm, Monday to Friday, with school hours

between 9:00 am to 4:00 pm and extended hours from 7:00 am to 9:00am and 4:00pm to 6:00pm. The total number of employees working on the largest shift was limited to 8 employees but over time, increased to and will remain at 20.

According to the applicant, the need for childcare facilities in the area is growing and their waitlist for additional childcare services has increased to over 60 families, running about a year out. In addition, the applicant notes that the existing spaces on site are underutilized and can accommodate additional students on site to serve the need of the community.

PROJECT DESCRIPTION

The proposed project is to amend Use Permit No. U03-002 to increase the maximum capacity of the existing preschool and childcare facility from 88 full and part time students to 110 full and part time students. In addition, the proposed project would remove the limit on the maximum students on site at one time to fully utilize the existing site.

Since the existing facilities are currently underutilized, the proposed project does not include any expansion of the existing facilities to accommodate the increase in maximum enrollment. Exterior modifications include parking lot restriping and the addition of a stop sign by the entrance of the facility to improve the safety and accessibility of the site.

DISCUSSION

The proposed application is to amend the maximum enrollment of part time and full time students, increasing it by 25% from 88 students to 110 students and remove the limit on the maximum number of students on site at one time would be removed to fully utilize the existing site. The limit on maximum students was originally limited to minimize traffic impacts, however, as discussed below, the student pick ups and drop offs are staggered and limited during peak hours to minimize traffic impacts. The proposed amendment would not introduce new uses to the site, construct new structures, or relocate the existing outdoor play area. Therefore, the proposed project is not anticipated to significantly intensify land use and noise impacts. A new Use Permit is required to amend the approved Use Permit.

Parking and Site Circulation

While the proposed project would increase the number of students on site, it is not anticipated to impact parking and circulation. The parking requirement for a Nursery School is one space for every 300 square feet of gross floor area. The existing building

is 6,012 square feet, therefore the 21 parking spaces are required. The site plan shows that this requirement would be met with 26 parking spaces proposed.

The parking lot would remain a one-way loop with ingress at the north end of the site and egress at the south end of the site, both off South Navarra Drive. The proposed project includes a new stop sign by the front entrance of the Montessori School to improve on-site pedestrian safety. The applicant has prepared a queuing plan (Attachment 4) that shows that the internal driveway is long enough to support up to 14 vehicles between the proposed stop sign and South Navarra Drive to ensure that vehicles associated will not spillover onto South Navarra Drive.

Traffic

The existing use operates under a pickup and drop off schedule to spread out the number of vehicles at the site at any given time. The existing schedule allows for four 30-minute time slots for drop off and pick up allowing a maximum of 16 families per time slot and a limit of 8 families during peak hours (7:30-8:30 and 4:30-5:30). With the increased number of students, the applicant is proposing two additional pick up and drop off time slots to ensure that pickups and drop offs are staggered and reduce it to a maximum of 14 families per 30 minute time slot. Pick ups and drop offs during peak hours would continue to be limited to 8 families. This proposed schedule accounts for the services that the Montessori School provides to encourage carpooling, that each family could pick up and drop off more than one student and that many families walk to the site and do not contribute to vehicular traffic.

The traffic evaluation prepared by Keith Higgins, the project traffic engineer, dated August 19, 2021 (Attachment 5) analyzes the traffic impacts of increasing the maximum enrollment of the students from 88 students to 110 students. According to the analysis, due to the additional pick up and drop off times, the project would result in a slight reduction in hourly traffic flow rates into and out of the project, no additional queuing at the existing School driveways and no increase in School traffic during the morning and evening street peak hours. Therefore, it would not have a measurable impact on surrounding streets. In addition, the analysis notes that with the worst-case trip generation rate of 4.07 trips per day per student, the proposed addition of 22 students would generate about 90 trips per day which is less than the significance threshold of 110 daily trips. Therefore, the proposed project will have a less than significant vehicle miles traveled (VMT) impact and will not require additional VMT analysis.

ATTACHMENTS**PAGE**

Resolution (Action Item)

1.	Location Map	10
2.	Project Plans	11
3.	Use Permit No. U03-002 (Resolution No. 1364)	19
4.	Queuing Exhibit	29
5.	Traffic Evaluation (2021-08-19)	30

RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SCOTTS VALLEY APPROVING USE PERMIT U21-002 TO AMEND USE PERMIT U03-002 TO INCREASE THE MAXIMUM CAPACITY OF THE EXISTING PRESCHOOL AND CHILDCARE FACILITY LOCATED AT 123 SOUTH NAVARRA DRIVE FROM 88 FULL AND PART TIME STUDENTS TO 110 FULL AND PART TIME STUDENTS // APN 024-141-24

WHEREAS, the application was reviewed for completeness and is determined to be a “project” as defined by the California Environmental Quality Act (CEQA); and,

WHEREAS, the project is categorically exempt from CEQA [Class15301]; and,

WHEREAS, the project was reviewed by the Planning Commission in a duly noticed public hearing on Thursday, September 9, 2021.

NOW THEREFORE, the Planning Commission of the City of Scotts Valley hereby resolves as follows:

SECTION 1: The environmental determination represents the independent judgment of the City.

SECTION 2: The categorical exemption [Class15314] is hereby approved.

SECTION 3: The Planning Commission of the City of Scotts Valley does hereby specifically make the following findings, as further clarified in the staff report dated Thursday, September 9, 2021:

- 1. The proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the district in which the site is located.** The existing preschool is an allowed use permitted by Use Permit U03-002. Preschools are considered somewhat unique in that their proximity to sensitive land uses is not generally detrimental to the quality of life and in many cases is desirable and convenient. The district is intended to provide space for community facilities needed to compliment urban residential areas and for institutions which may complement a residential environment. The proposed increase in maximum enrollment is anticipated to provide additional childcare services with minimal impacts to the surrounding neighborhood.
- 2. The establishment, maintenance or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare**

of the city. As noted above, while the proposed project intensifies the use, the proposed increase in maximum enrollment is anticipated to have a minimal impact on the surrounding neighborhood and surrounding streets. The combination of the pickup and drop off schedule and the available on-site queuing would prevent spillover onto South Navarra Drive. The onsite parking exceeds the requirements of the Scotts Valley Municipal Code. Therefore, the proposed increase in maximum enrollment will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city as conditioned.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff reports, minutes, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve Use Permit U21-002 to Amend Use Permit U03-002 to increase the maximum capacity of the existing preschool and childcare facility located at 123 South Navarra Drive from 88 full and part time students to 110 full and part time students // APN 024-141-24 subject to the conditions set forth in the attached Exhibit A, which are incorporated herein by this reference.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on the 9th day of September 2021, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Lori Gentile, Chair

Taylor Bateman, Community Development Director

EXHIBIT A
CONDITIONS OF APPROVAL

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. Property owner shall sign below (at the end of these conditions) agreeing to the Conditions of Approval noted above prior to enrollment increase.
3. Applicant shall obtain a building permit(s) and pay appropriate fees prior to commencement of work on the subject property. All trades of electrical, plumbing and mechanical will be issued under one building permit for said project (General Contractor permittee).

PLANNING DEPARTMENT

4. All applicable Conditions of Approval of Planning Commission Resolution U03-002 shall remain in effect.
5. Total enrollment shall not exceed 110 students and the maximum students on site at one time shall not exceed 110 students.

BUILDING DEPARTMENT

Standard

6. All requirements of the Building Department of the City of Scotts Valley shall be met. All structures shall comply with the most current California Energy Commission Standards. (2019 California Energy Code)
7. The buildings must be designed to comply with the California Building Code (CBC), 2019 edition, structural and seismic/earthquake requirements.

8. The building permit plans must comply with the California Green Building Code (CGBC), 2019 edition, for water-conserving fixtures and fittings and with the CA Energy Commission Building Energy Efficiency Standards (2019) (which includes energy-saving appliances, etc.).
9. All construction within the City shall be limited to the hours between 8 AM and 6 PM, Monday through Friday, and 9 AM through 5 PM on Saturday. No construction activity is allowed on Sundays.
10. The applicant shall affix a copy of the approving resolution and conditions of approval to each set of construction plans which will be submitted to the Building Department.

Project Specific

11. If required, a Special Inspection and Testing Agreement shall be submitted, and an approved agency selected prior to issuance of a permit.
12. All trades of electrical, plumbing and mechanical will be issued under one building permit for said project (General Contractor permittee). Projects with multiple buildings will have a permit for each individual building. Tenant Improvements for non-residential buildings will require a separate permit from the shell permit.
13. All of the following Codes shall be used unless the code edition has changed prior to the date of the application for a Building permit:

2019 California Building Code (CBC), 2019 California Electrical Code (CEC), 2019 California Plumbing Code (CPC), 2019 California Mechanical Code (CMC), 2019 California Green Building Code (CGBC), 2019 California Energy Code (CEnC) and City Municipal Code.
14. A City of Scotts Valley Construction Waste Management Plan (CWMP) shall be submitted with the permit application.
15. A Cost Documentation for Accessibility form shall be submitted with the permit application.
16. Occupant loads for restroom fixture counts shall be submitted with permit application submittal.

SCOTTS VALLEY FIRE DISTRICT

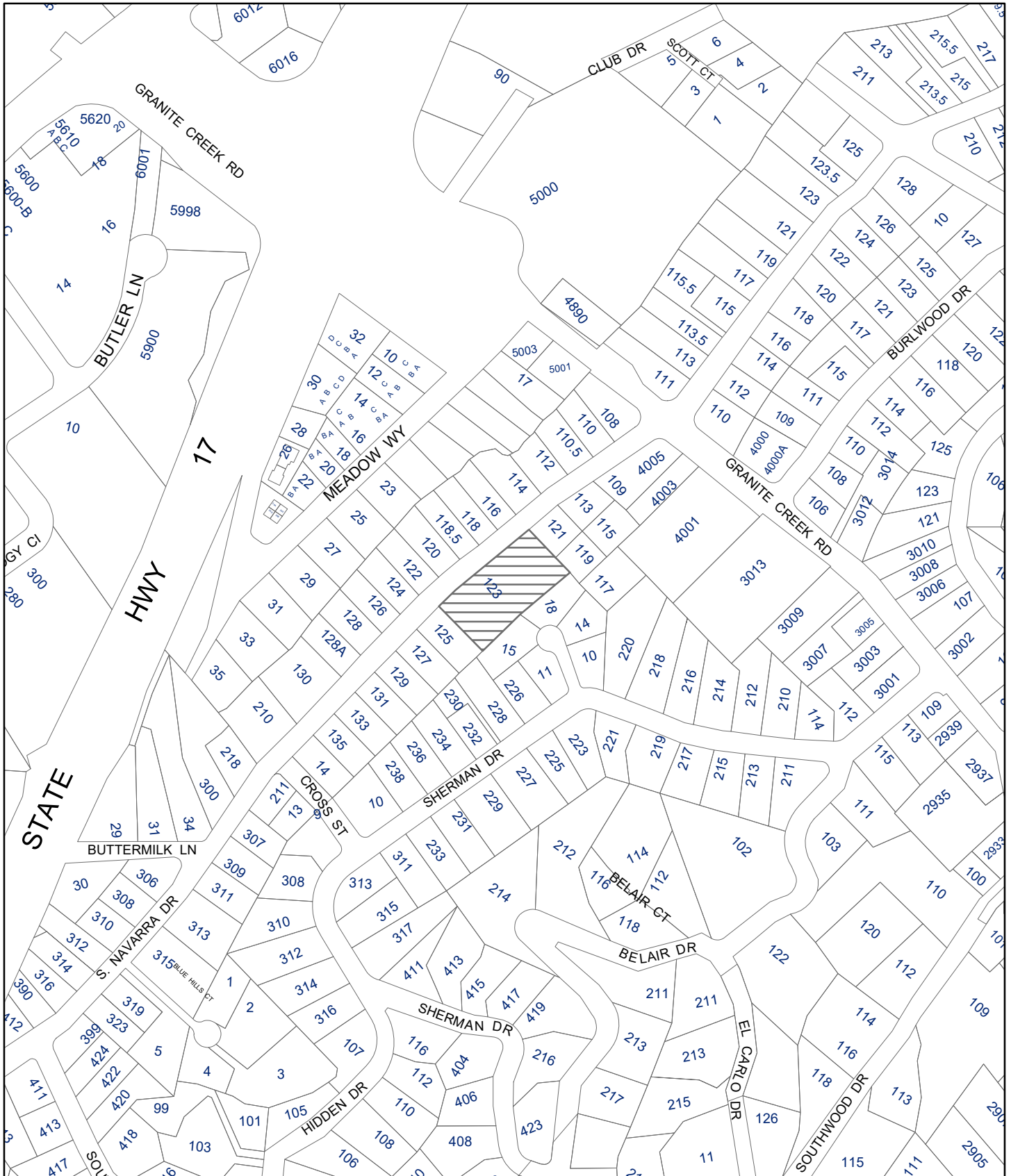
17. This project as proposed shall conform to the 2019 California Fire Code as amended by the Scotts Valley Fire Protection District.
18. Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. (2019 CFC 1010.1.9)

SCOTTS VALLEY WATER DISTRICT

19. Prior to increasing the maximum number of students enrolled, the permittee shall comply with all Scotts Valley Water District requirements, including upgrading the water meter and paying all applicable fees. For all applicable requirements, please contact Brody Knutson at bknutson@svwd.org

Signature of Property Owner

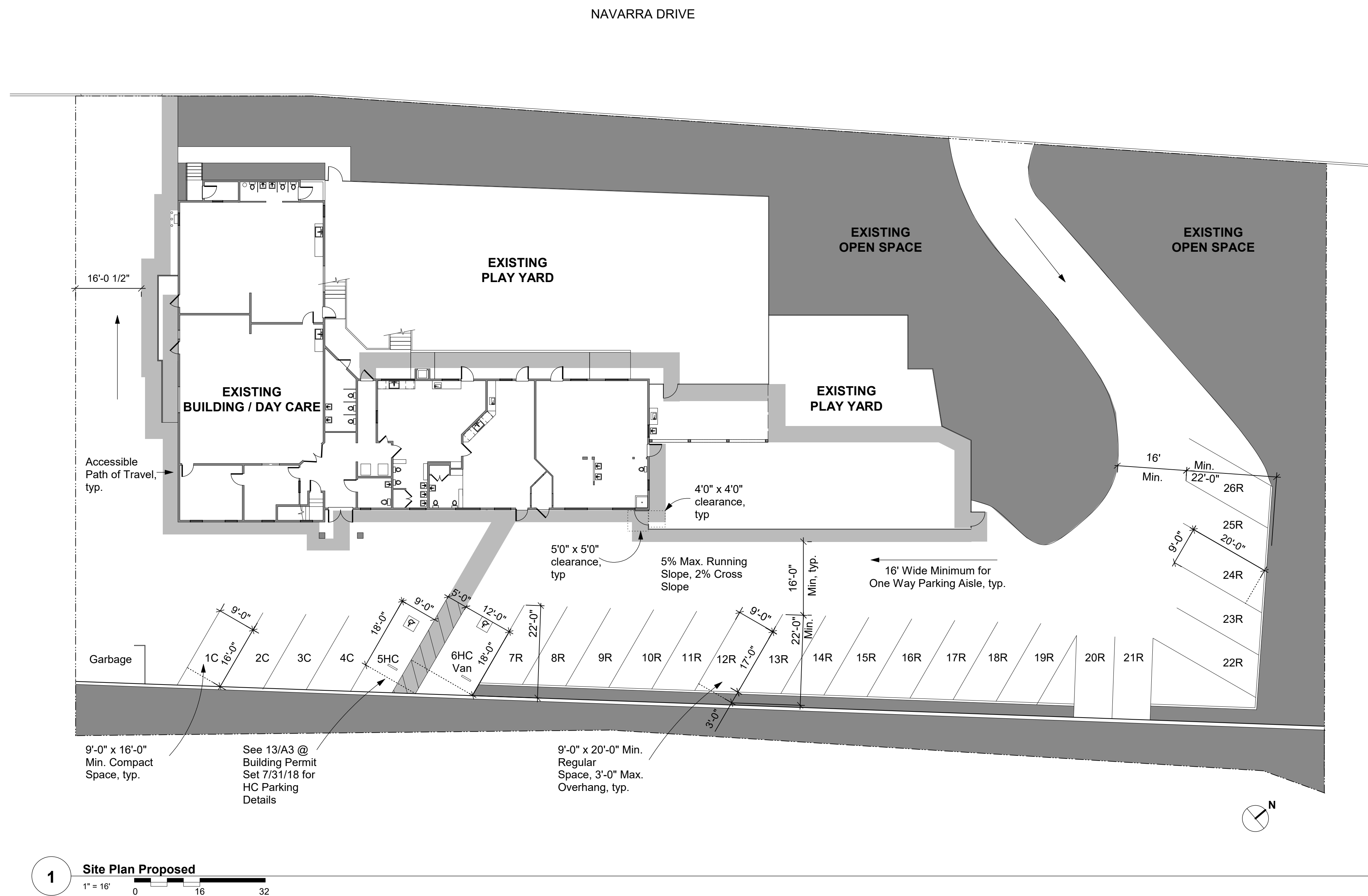
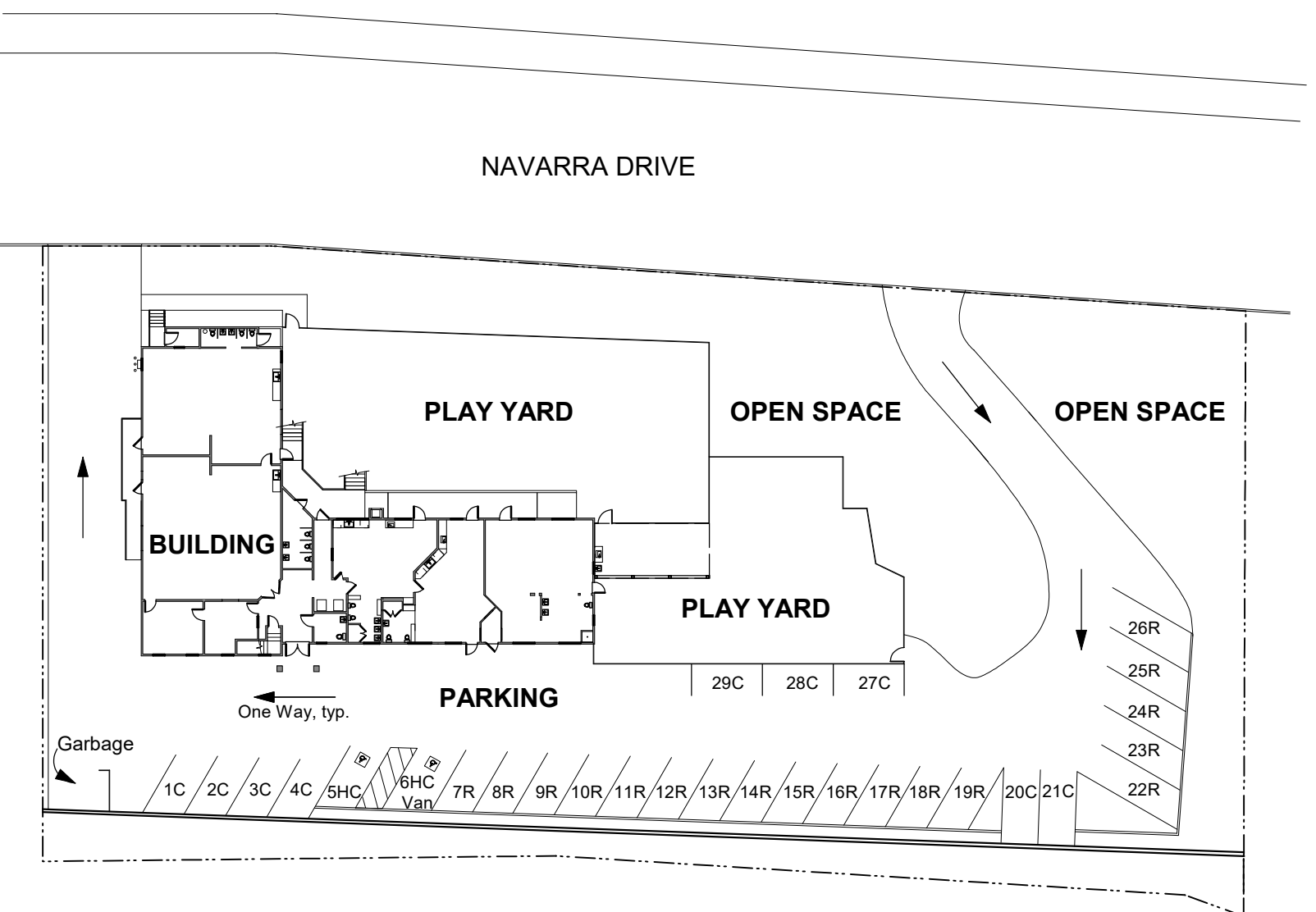
Location Map

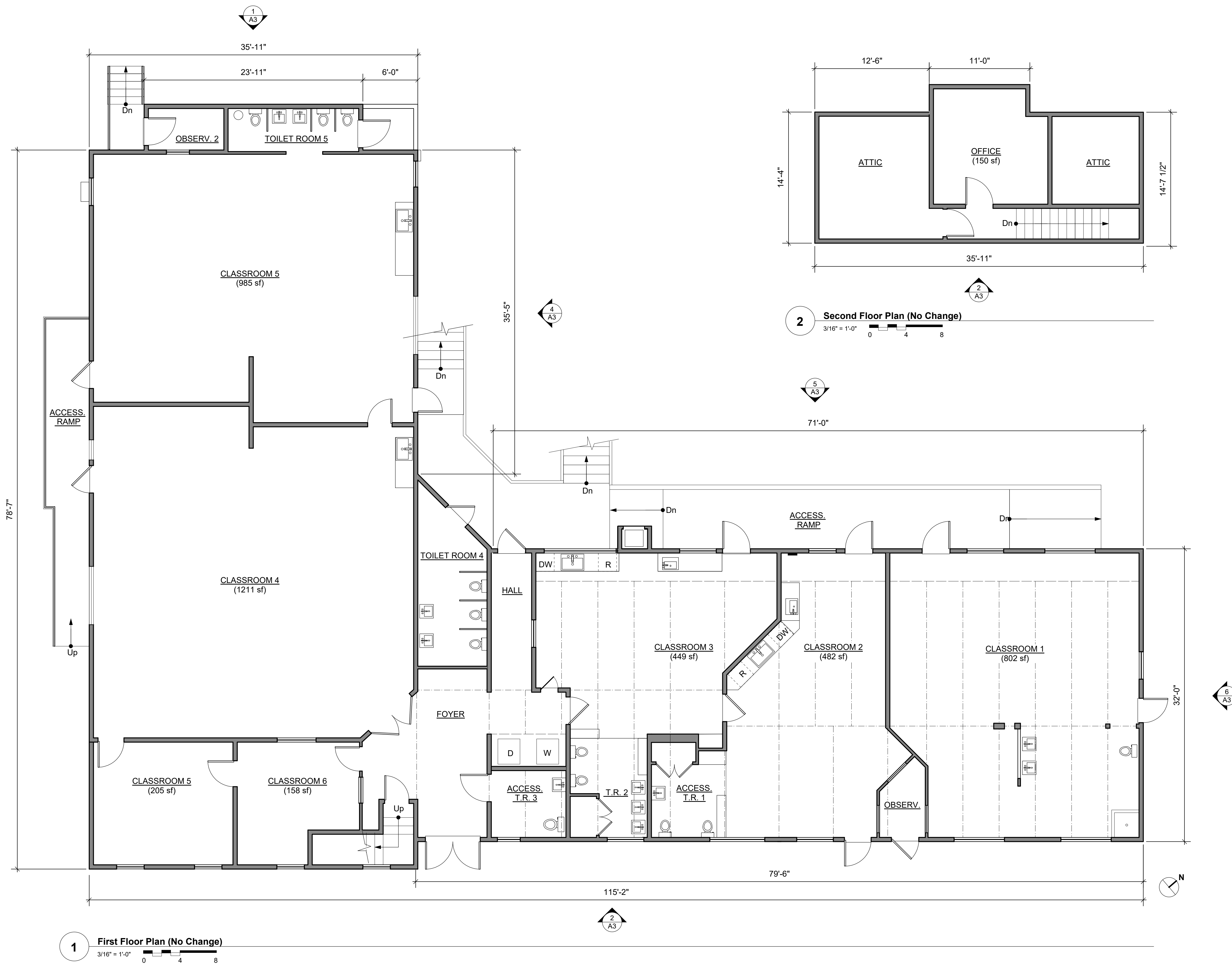


 Project Site

Proposed amendment to the current Use Permit No. U03-002 for the operation of an existing preschool from 88 for up to 130 full and part time students to accommodate the childcare and educational needs of families in the community. Existing underutilized interior and exterior space (no new building construction) will accommodate the proposed capacity increase. The inside portion of the existing building will provide education and daycare for students, while the outside environment will be used as a play space, educational area, daycare, and garden. Students attending the Montessori Community School range in age from 3 months to 6 years. The hours of operation are Monday through Friday 7:00 am - 6:00 pm. There is no proposed change to the proposed hours, the school day will begin at 9:00 am and end at 4:00 pm and the extended care will be from 7:00 am to 9:00 am and after school will be from 4:00 pm to 6:00 pm. The total number of employees and employees working at the largest shift is 22. The current and proposed on-site parking continues to exceed the requirement of 1 space for every 300 sf of gross floor area as outlined in the Scotts Valley Municipal Code and the Project Data below.

Assessor's Parcel Number:	024-141-24
Address:	123 S Navarra Drive
Zoning:	P (Public/Quasi-Public)
Occupancy (no change):	E
Use (no change):	Day Care/Preschool
(E) Building/Day Care Gross Floor Area (no change)	6,012 sq ft
Required Parking Spaces (1/300 sf):	6012 sf / 300 = 20
Required HC Parking Spaces (no change):	2 (1 Van) per CBC 11B-208
(E) Parking Spaces:	29 (20R, 9C, 2HC)
(N) Parking Spaces:	26 (22R, 4C, 2HC)
(E) Parking & Aisle Area (no change):	15,204 sq ft
(E) Play Yard Area (no change):	7,780 sq ft
(E) Open Space Area (no change):	13,798 sq ft
Total Existing Capacity Allowed:	88 Full & Part Time Students
Total Proposed Capacity:	130 Full & Part Time Students
Accessible Signage & Parking Details:	Waived by Planning Director (See Sheet A3, Building Permit 7/31/18)







6 North East Facade (No Change)



5 North West Facade (No Change)



4 North East Facade (No Change)



3 South West Facade (No Change)



2 South East Facade (No Change)



1 North West View From Navarra Drive (No Change)

GENERAL NOTES

- The Contract Documents include the Working Drawings, Specifications, Addenda, Modifications and the Conditions of the Construction Contract.
- The Contract Documents are instruments of service and shall remain the property of the Architect whether the project for which they are prepared is executed or not. The Contract Documents are not to be used for other projects or extensions of the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.
- The Contractor shall be responsible for checking Contract Documents, field conditions and dimensions for accuracy and confirming that the Work is as shown before proceeding with construction. Clarifications regarding any conflicts shall be achieved prior to related work being started.
- In the event of conflict between data shown on the Drawings and data shown in the Specifications, the Specifications shall govern. Dimensions noted on the Drawings shall take precedence over scaled dimensions. Detail drawings take precedence over drawings of smaller scale. Should the Contractor at any time discover an error in a Drawing or Specification, or a discrepancy or variation between Dimensions on Drawings and measurements at site, or lack of dimensions or other information, he shall report at once to the Architect for clarification and shall not proceed with the work affected until clarification has been made.
- Discrepancies between General, Plan or Sheet Notes shall be brought to Architect's attention for clarification and resolution. Occasional reference to one or more specific notes within the General, Plan or Sheet Notes shall not in any way diminish or eliminate the full force and effect of all other notes, neither in relation to one another or not specifically referenced.
- The Contractor is responsible for verifying the dimensions and elevations at the site. The Contractor and sub-contractors shall coordinate the layout and exact location of all partitioning, doors, electrical/telephone outlets, light switches and thermostats with the Architect in the field before proceeding with construction.
- Horizontal dimensions are from face of stud to face of stud, except as noted otherwise. Vertical dimensions are from top of floor slab or plywood, except where noted to be above finished floor (AFF). All dimensions marked "clear" shall be maintained and shall allow for thickness of all finishes. Dimensions are not adjustable without approval of Architect unless noted with "+/-".
- "Furnish" means supply only, for others to put in place. "Install" means supplied by others, to be installed by Contractor. "Provide" means furnish and install, complete and in place.
- "Typical" means identical for conditions noted. "Similar" means comparable characteristics for conditions noted. Contractor to verify dimensions and orientation.

Quality Assurance

- When authorized by the Owner, the Architect will be the designated agent for design of this project and will exercise sole authority for determining conformance of materials, equipment and systems with the intent of the design. Review and acceptance of all items proposed by the Contractor for incorporation into this work will be by the Architect. This function of the Architect will apply both to the Contract as initially signed, and to changes to the Contract by modification during progress of the Work.
- The Contractor is to exercise extreme care and caution during construction of the Work to minimize disturbances to adjacent structures and their occupants, property, public thorough-fares, etc. Contractor shall take precautions and be responsible for the safety of all bldg. occupants from construction procedures.
- The Contractor is responsible for and shall provide protection for any existing finishes to remain.
- Cut and fit components for alteration of existing work and installation of new work. Patch disturbed areas to match adjacent materials and finishes.
- All work shall be erected and installed plumb, level, square, and true and in proper alignment.
- The finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains or discoloration. Jointings shall be close-fitting, neat and well-scribed. The finish work shall not have exposed, unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling and warping due to temperature and humidity conditions.
- Coordinate and provide appropriate structural blocking/backing and reinforcing in partitions behind all wall mounted items.
- Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practice and the Contractor is responsible for improving them accordingly to these conditions. The Drawings show only special conditions to assist the Contractor, they do not illustrate every such condition and detail.
- References to makes, brands, models, etc. is to establish type and quality desired. Substitution of acceptable equals will not be permitted unless specifically noted otherwise or when made according to procedures for substitutions.
- Make all necessary provisions for items to be furnished or installed by Owner. Provide protection for these provisions until completion of the project. Contractor to coordinate N.I.C. items with appropriate trades.

- Within five (5) days from contract date, Subcontractor is to prepare and submit and estimated progress schedule for the Work, with sub-schedules of related activities which may affect the progress of the Work.
- Subcontractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable, Sub-contractor shall notify Architect immediately to allow Architect a reasonable amount of time to select a suitable substitute.
- Subcontractor shall provide manufacturer's specifications, installation instructions, shop drawings and samples for review and approval of all materials and methods to be used prior to ordering or proceeding with the Work. Submit Product Data, Shop Drawings and Samples for all trades as soon as possible to the Architect to guarantee progress of the Work.
- Subcontractor to follow manufacturer's recommended specifications and installation procedures. If these differ from the Contract Documents, Subcontractor shall notify Architect in writing immediately to resolve discrepancies prior to proceeding.
- If any time before commencement of Work, or during progress thereof, the Subcontractor's methods, equipment or appliances are inefficient or inappropriate for securing quality of Work or rate of progress intended by the Contract Documents, the Owner may order the Subcontractor to improve their quality or increase their efficiency. This will not relieve the Subcontractor or his sureties from their obligations to secure quality of work and rate of progress specified in Contract.

Standards

- All construction shall comply with applicable codes, amendments, rules, regulations, ordinances, laws, orders, approvals, etc. that are required by public authorities. In the event of conflict, the most stringent requirements shall comply. Requirements of include, but are not limited to the current applicable editions or publications of the following (or as otherwise noted):
 - A. Current adopted codes and all local codes and ordinances
 - B. American Disability Act
 - C. National Fire Protection Association
 - D. Title 24 State of California Energy Regulations
 - E. American National Standards Institute
 - F. 2016 CBC, CRC, CPC, CMC, CEC, CEnC, CFC, CHBC, CEBC
 - G. 2016 California Green Building Standards (CALGreen) Code
- Requirements for fire protection sprinkler system in all new construction are consistent with NFPA-13D and Local Fire Protection Sprinkler Ordinance.
- Materials and workmanship specified by reference to number, symbol, title, or specification, such as commercial standards, federal specifications, trade association standard, or other similar standard, shall comply with requirements in latest edition or revision thereof, and with any amendment or supplement thereto in effect on date of origin of this project's Contract Documents. Such standard, except as modified herein, shall have full force and effect as though printed in the Contract Documents. Abbreviations used in referring to standards that apply to the Work, include, but are not necessarily limited to, the following:
 - A. American Society of Testing Materials (ASTM)
 - B. American Institute of Steel Construction (AISC)
 - C. American Welding Society (AWS)
 - D. American Concrete Institute (ACI)
 - E. American National Standards Institute (ANSI)
 - F. Architectural Aluminum Manufacturer's Association (AAMA)
 - G. Aluminum Association, Inc. (AA)
 - H. Concrete Reinforcing Steel Institute (CRSI)
 - I. National Association of Architectural Metal Manufacturers (NAAMM)
 - J. National Fire Protection Association (NFPA)
 - K. Window & Door Manufacturer's Association (WDMA)
 - L. Woodwork Institute (WI)
- Contractor shall waive "common practice" and "common usage" as construction criteria wherever details and Contract Documents or governing codes, ordinances, etc. require greater quantity or better quality than common practice or common usage would require.
- Only new items of recent manufacture, of standard quality, free from defects, will be permitted in the new Work. Rejected items shall be removed immediately from the Work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the Subcontractor from the responsibility for quality and character of items used nor from any other obligation imposed on him by the Contract.
- Continuous inspection of welding in the shop and field shall be required during the time of welding. In addition, all complete penetration welds shall be ultrasonically tested by the laboratory, unless some other means of providing the compliance of the welds is designated by the Structural Engineer. Welds showing inclusions, porosity, lack of fusion, penetration or uneven contours (sagging or overlapping parent metal) beyond acceptable limits, as determined by the Welding Inspector, shall be ground out and rewelded at no additional cost to the owner. Procedures and criteria for acceptance of welds shall be per AWS D1.1/D1.1M.
- No work defective in construction or quality or deficient in any requirements of the Drawings and Specifications will be acceptable in consequence of Owner's or Architect's failure to discover or to point out defects or deficiencies during construction; nor will presence of inspectors on work site relieve Contractor from responsibility for securing quality and progress of Work as required by the Contract. Defective work revealed within time required by guarantees shall be replaced by work conforming with the intent of the Contract. No payment, whether partial or final, shall be construed as an acceptance of defective work or improper materials.

SPECIFICATIONS

Construction Waste Reduction, Disposal and Recycling

- Maximize the reuse and recycling of the nonhazardous construction waste in accordance with local standards or CALGreen 5.408.1.1, 5.408.1.2 and/or 5.408.1.3. Utilize a waste management company or set up a waste management plan to minimize landfill waste disposal.
- An effective waste management plan would identify efficient usage of materials, recycling, on-site reuse and salvage. Employ processes that ensure the generation of as little waste as possible due to overpackaging, error, poor planning, breakage, mishandling, contamination or other causes. Clearly label trash and recycling receptacles as appropriate to the activities being performed as well as available waste management programs. Labels shall include *Clean Wood, Paper, Cardboard, Plastics and Aluminum, Metal, Gypsum Board, Trash, and Mercury Containing Equipment*. Trash includes items that cannot be reused or recycled such as painted wood. Hazardous materials such as paint cans shall be disposed of at a paint recycling or hazardous waste management facility. *Mercury Containing Equipment* includes televisions, computers and other electronic devices as well as batteries, fluorescent lamps, mercury thermostats, etc. Concrete waste to be recycled at concrete grinder. The plan shall also identify materials to be reused on site such as wood or doors. Donate for reuse to minimize waste. Existing appliances, sinks, tubs, cabinets, faucet hardware, doors, etc. to undergo deconstruction (as opposed to demolition) and donated to a local reuse store such as Habitat for Humanity Restore.
- Maximize recycling and reuse of demolished structures.
- During framing, use cutoff ends for blocking. Lay out framing to take advantage of sheathing or siding dimensions. Reuse formwork for concrete in framing where possible.

Pollutant Control

- If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30 percent based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.
- At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system.
- Adhesives, sealants and caulks shall comply with SCAQMD Rule 1168 VOC limits, as shown in CALGreen Tables 5.504.4.1 and 5.504.4.2. Use latex water-based caulk or 100% silicone where appropriate. Use "Sikaflex" or "Vulkem" or equal at exterior metal work where a seal is desired (ex: gutter laps). Do not use construction adhesive.
- Paints and coatings shall comply with CALGreen Table 5.504.4.3 unless more stringent local limits apply. For exterior painting, use Benjamin Moore, latex, low VOC emitting paint, or equal. For interior painting, use zero VOC emitting AFM "Safecoat", Benjamin Moore "Eco-Spec" or equal. See Owner for colors.
- Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in CALGreen Table 5.504.4.5.

Materials

- Use gypsum board containing recycled content and 100% recycled paper. Give preference to installers that take back scrap for recycling.
- All new wood for formwork, construction, trim, siding, cabinetry or other use shall, when approved by Owner, be certified as sustainably harvested by an organization accredited by the Forest Stewardship Council. Use only pressure treated wood with Copper Boron Azole or sustainably harvested con heart redwood in locations where wood may come in contact with moisture.
- Use HCFC free rigid foam insulation, blown-in cellulose or dense pack cellulose insulation, with minimum 75% post consumer paper and fiberized rather than Hammermill processed where called for. Use expanded polystyrene rigid insulation board (not extruded polystyrene) over concrete slab.
- Where stainless steel is called for, use high grade stainless steel that does not rust.
- Where concrete is called for, use raw linseed oil as form release or an industry standard material that is not petroleum-based and reuse formwork. Use 50% fly ash as substitute for Portland cement when possible. Fly ash shall conform to the standards listed in CALGreen A5.405.5.2.1.
- When possible, use salvaged building materials such as doors, wood flooring, salvaged fir, etc.

DRAWING INDEX

ARCHITECTURAL

- A 1 Project Data / Specifications
- A 2 Floor Plan
- A 3 Interior Details / Accessibility
- A 4 Exterior Details / Door & Window Schedule
- A 5 MEP Plan
- EN 1 Energy Compliance / Envelope & Fenestration
- EN-2 Energy Compliance / Indoor Lighting
- EN 3 Energy Compliance / Outdoor Lighting

STRUCTURAL

- S-1 Foundation Plan
- S-2 Roof Framing Plan
- S-3 Structural Details / Structural Specifications

PROJECT DESCRIPTION

Tenant improvement to an (E) two story Montessori preschool. Division of an existing classroom into two classrooms by adding a new interior partition wall plus kitchenette and toilet room at Classroom 2. Relocation of laundry and interior only modifications to an existing Observation Room. Accessibility upgrades at (E) Accessible Toilet Room 3. Exterior changes include the replacement of two windows by using the existing openings to add new windows and an exit door. Relocation of existing lighting fixtures plus the addition of 3 new lighting fixtures in the Hall & Laundry. Emergency lighting added throughout area of alteration. Accessibility upgrades at (E) parking & primary entrances.

PROJECT DATA

Assessor's Parcel Number:	024-141-24
Address:	123 S Navarra Drive
Current Occupancy:	E
Previous Occupancy:	E
Construction Type:	Type VB
Zoning:	P (Public/Quasi-Public)
Use:	Day Care/Preschool
Total Enrollment/Attendance:	No Change
Occupancy Load (Classroom 2):	450/35 Net = 12.86
Exits Required (Classroom 2):	12.86 > 10, 2 exits required
Occupancy Load (Classroom 3):	434/35 Net = 12.4
Exits Required (Classroom 3):	12.4 > 10, 2 exits required
Exit Corridor	Non-rated (CBC 1020.1 Exception 1)
Automatic Sprinkler System:	No, tie into existing fire alarm system
Climate Zone:	3

PROJECT TEAM

OWNER CONTACT
MONTESSORI COMMUNITY SCHOOL

123 S Navarra Drive
Scotts Valley, CA 95066
MADELYNN TERSHY
Tel: 831. 439. 9625
madelynn@montessoricomunity.school

ARCHITECT
LINDSAY TOSCANO ARCHITECT

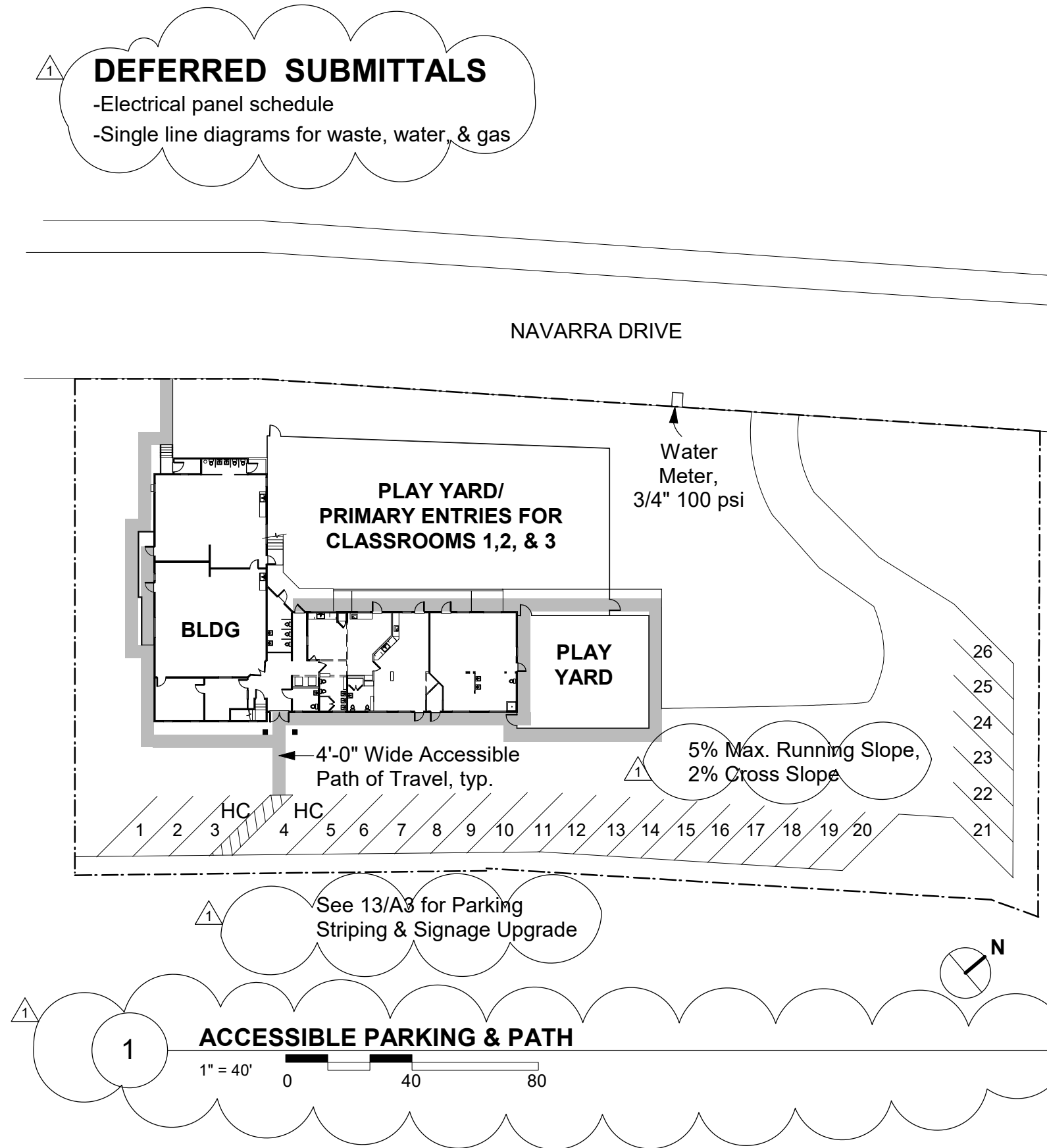
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Tel: 510. 368. 1984
Fax: 866 . 515 . 0082
lindsay@toscanoarch.com

STRUCTURAL ENGINEER

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A PLUS GREEN ENERGY SERVICES

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JAMES BLOMQUIST
Tel: 831. 728. 5503
jim@apgges.com



Date	Issue
05.22.18	As-Builts
05.29.18	100% DD
06.26.18	Building Permit
07.31.18	Permit Revisions/△

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MADELYNN TERSHY
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123 S NAVARRA DRIVE
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Telephone: (831) 439.9625

PROJECT DATA/
SPECIFICATIONS

Date	07.31.18
Scale	100% of shown
Issue	building permit
Project	2018.01
Sheet	

A 1

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A 2



ACCESSIBILITY NOTES

Accessible Route of Travel

CBC 11B-206.2

At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public streets or sidewalks to the accessible building entrance they serve. At least one accessible route shall connect accessible buildings, facilities, elements and spaces that are on the same site.

Reach Ranges

CBC 11B-308.3.2

Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34" max. & the depth of the obstruction shall be 24" max. Except the top of washing machines & clothes dryers shall be 36" max. A.F.F.

Where a side or forward reach is unobstructed, the high forward reach shall be 48" max. & the low forward reach shall be 15" min. above F.F., or ground.

Walks & Sidewalks

CBC 11B-403.5.1

Walks & sidewalks shall be a minimum of 48" in width.

Doors

CBC 11B 404.2

The level and clear area on each side of an exit door shall have a length in the direction of the door swing of at least 60 inches and a length opposite the door swing of 48 inches; shall extend 24 inches past the strike edge of the door for exterior doors and 18 inches past the strike edge for interior doors.

The force for pushing or pulling open a door or gate shall be 5 lbs maximum for interior or exterior hinged doors.

Door openings shall provide a clear width of 32" minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door & the stop, with the door open 90 degrees. Exception: In alterations, a projection of 5/8" max. into the required clear width shall be permitted for the latch side stop.

Door hardware shall be 34" min. & 44" max. above the F.F. or ground.

Accessible Toilet Rooms

CBC 11B-603 & 604

Where water closets are provided, at least 5% but no fewer than 1 shall comply with CBC 11B-604.

Single-accommodation toilet facilities shall have a clear floor space of at least 60" in diameter. Clearance around a water closet shall be 60" min. measured perpendicular from the side wall & 56" min. measured perpendicular from the rear wall. A min. 60" wide and 48" deep maneuvering space shall be provided in front of the water closet. The center line of the water closet shall be 17" min. & 18" from the side wall or partition. Provide a clear space of 30"x48" in front of sink.

Grab bars located on one side (42" long with the front end positioned 24" in front of the water closet) & the back (36" long) of the accessible toilet shall be securely attached 33" min. above & 36" max. above the F.F. & in a horizontal position.

Tactile Exit Signage

CBC 1013.4

Each grade level exterior exit door shall be identified by a tactile exit sign with the word, "EXIT".

Each grade level exterior exit by means of stairway or ramp shall be identified by a tactile exit sign with the words, "EXIT STAIR DOWN", "EXIT RAMP DOWN", "EXIT STAIR UP", or "EXIT RAMP UP".

Each exit access door from an interior room or area to a corridor or hallway shall be identified by a tactile exit sign with the words, "EXIT ROUTE".

Tactile exit signs to comply with CBC 11A-1143.A & CBC 11B-703.1, 703.2, 703.3, 703.4, & 703.5

Accessible Parking

CBC 11B-208.2

26 (E) Parking Spaces in Lot - 2 Accessible Parking Spaces Required (1 Van Min.)

Access Aisle Shall Be Placed on Either Side of Parking Space Except For Van Parking Space Which Shall Have Access Aisle Located On Passenger Side (CBC 11B-502.3.4)

Loading & Unloading Access Aisle With 4" Blue Line Borders.

70 sq. inch Accessibility Sign Per CBC 11B-502.6

4" Blue Line

4" Blue or White Diagonal Lines @ 36" Max. O.C.

Van Parking Space Permitted to Be 9'-0" Wide Min. Where Access Aisle Is 8'-0" Wide Min. (CBC 11B-502.2 Exception)

18'-0" Min.

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1" Letters & Verbage Per CBC 11B-502.6

Post Sign in a Conspicuous Place @ Each Entrance to An Off-Street Parking Facility, or Immediately Adjacent to On-Site Parking & Visible From Each Parking Space. Blank Spaces Shall Be Filled in w/ Appropriate Information as a Permanent Part of the Sign

White International Symbol of Accessibility on Blue Background Per CBC 11B-502.6.4

Within the Loading & Unloading Access Aisle Paint the Words "NO PARKING" in 12" High Min. White Letters

PARKING SIGNAGE

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNERS EXPENSE
TOWED VEHICLES MAY BE RECLAIMED AT
OR BY TELEPHONING

ACCESSIBLE PARKING SIGN

-International Symbol of Accessibility & "Parking Only" in White
-"Minimum Fine" in white @ Each Stall
-Shade in blue
-Galvanized

Accessible Parking

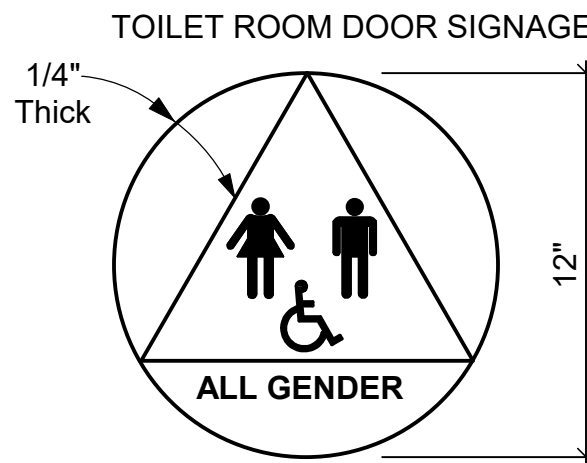
SCALE 1/8" = 1'-0"

13

Accessible Lavatory

SCALE 1-1/2" = 1'-0"

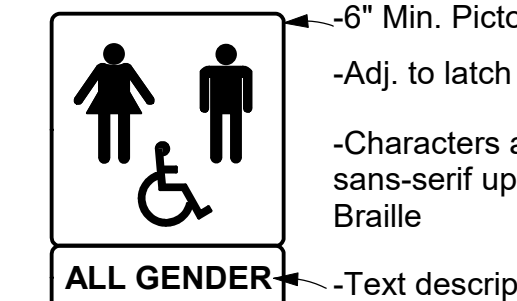
9



-Sign shall be cemented to toilet room doors after doors have been finished. Mount 58" min. to 60" max. A.F.F. to center of sign

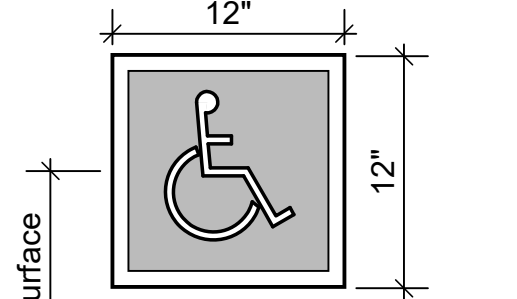
-Circle symbol to contrast door color & triangle symbol to contrast circle symbol

TOILET ROOM WALL SIGNAGE



-Mount 48" min. A.F.F. from baseline of lowest line of Braille & 60" max. from highest raised character to F.F. per CBC 11B-703.4.1, Figure 11B- 703.4.1

INTERNATIONAL SYMBOL OF ACCESSIBILITY



-At accessible entrances
-Shade in blue
-When directional add arrow

Accessible Toilet Room Signage

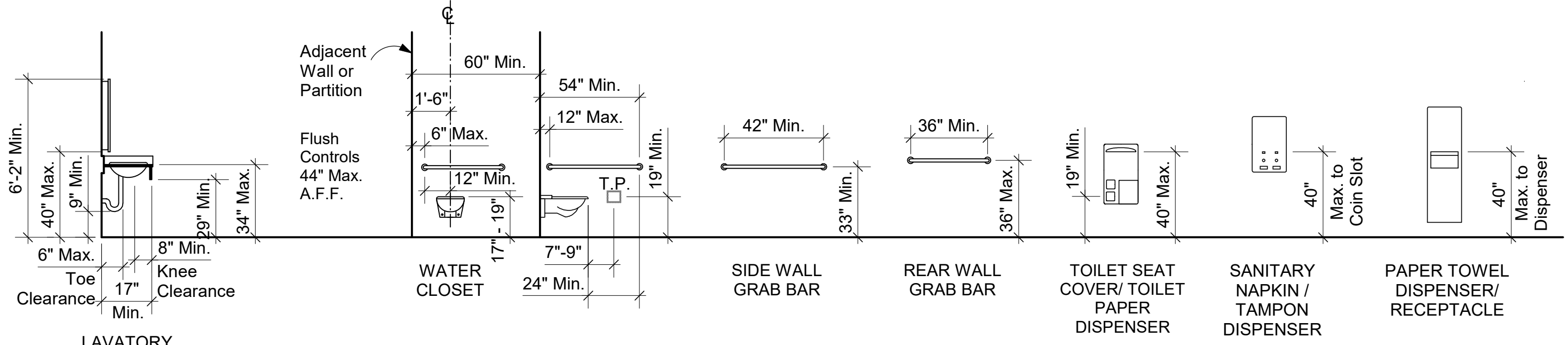
SCALE 1/4" = 1'-0"

12

Children's Accessible Toilet Room

SCALE 1/4" = 1'-0"

8



Typical Mounting Heights @ Accessible Toilet Room

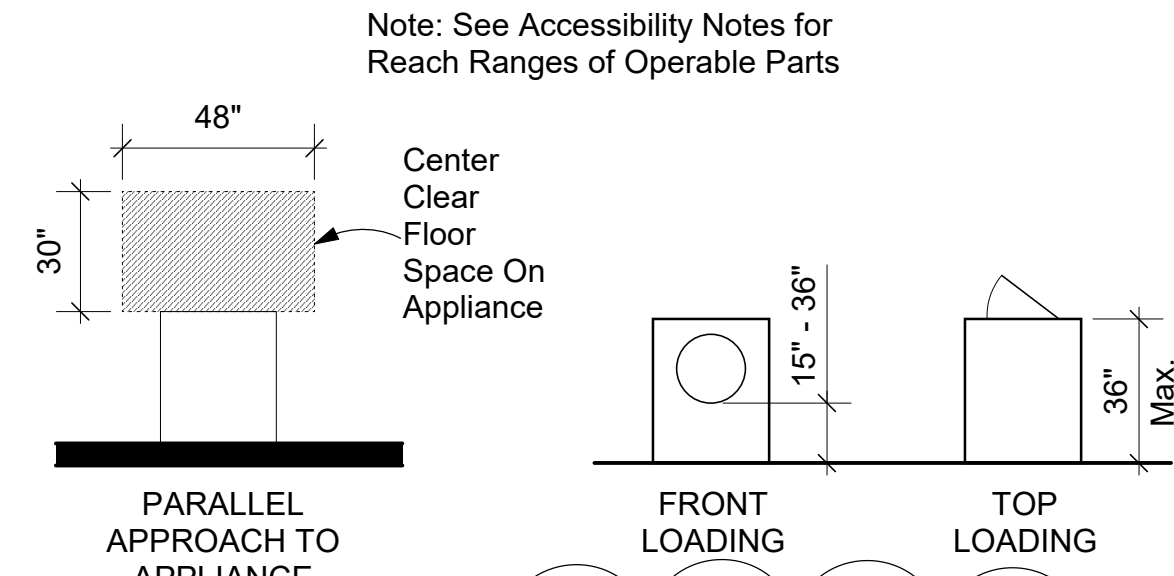
SCALE 1/4" = 1'-0"

11

Accessible Door Clearance

SCALE 1/4" = 1'-0"

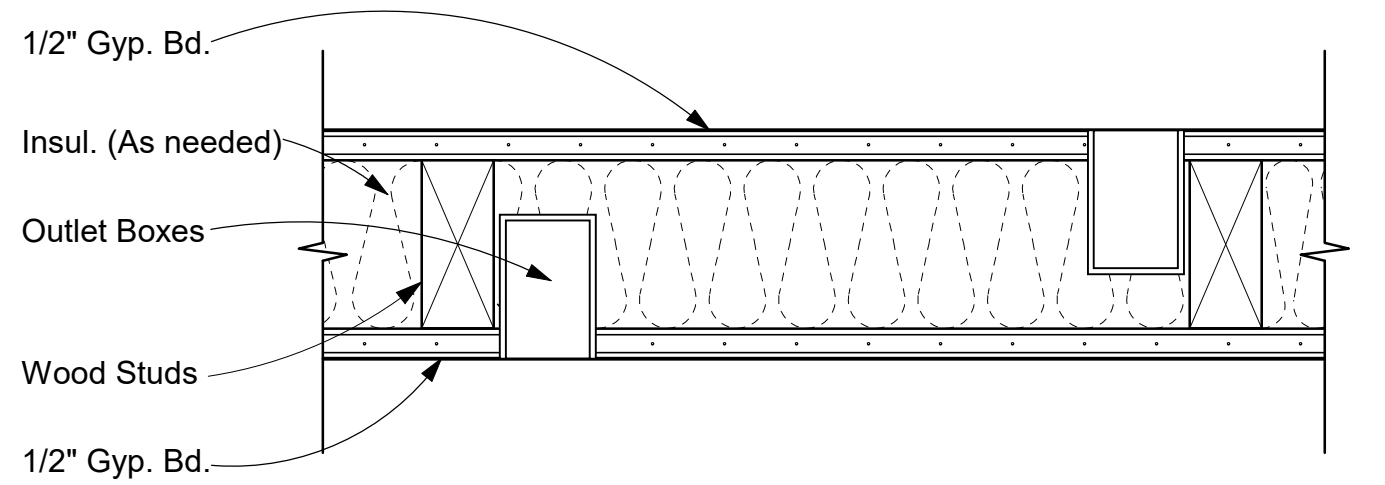
7



Accessible Laundry

SCALE 1/4" = 1'-0"

6

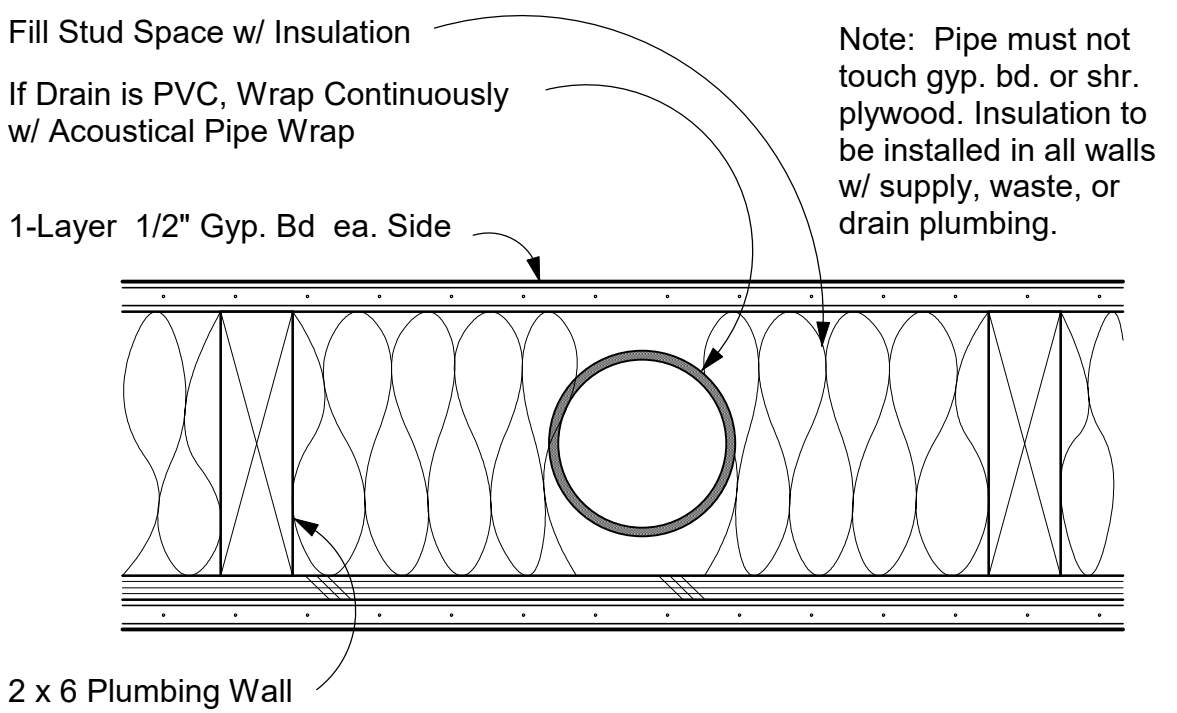


Notes:
• Outlets include electrical switches, junction boxes, cable T.V., and phone boxes.
• Electrical boxes to be steel & 16 square inches max. Aggregate area of outlet boxes in 100 s.f. of wall to be 100 sq. in. max.
• Outlets on opposite side shall be separated by a horizontal distance of 24" min.

Outlet Penetrations @ Interior Wall

SCALE 3" = 1'-0"

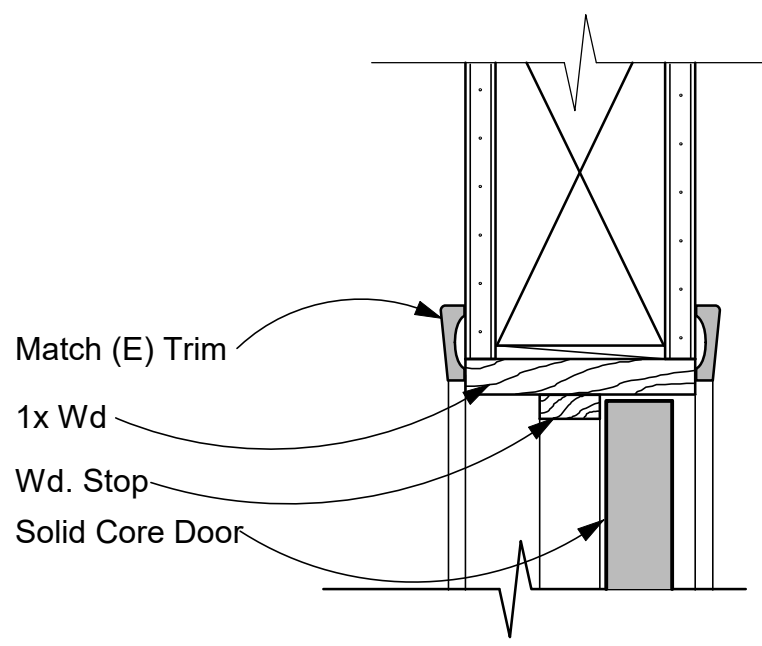
5



Drain Pipe @ Wall

SCALE 3" = 1'-0"

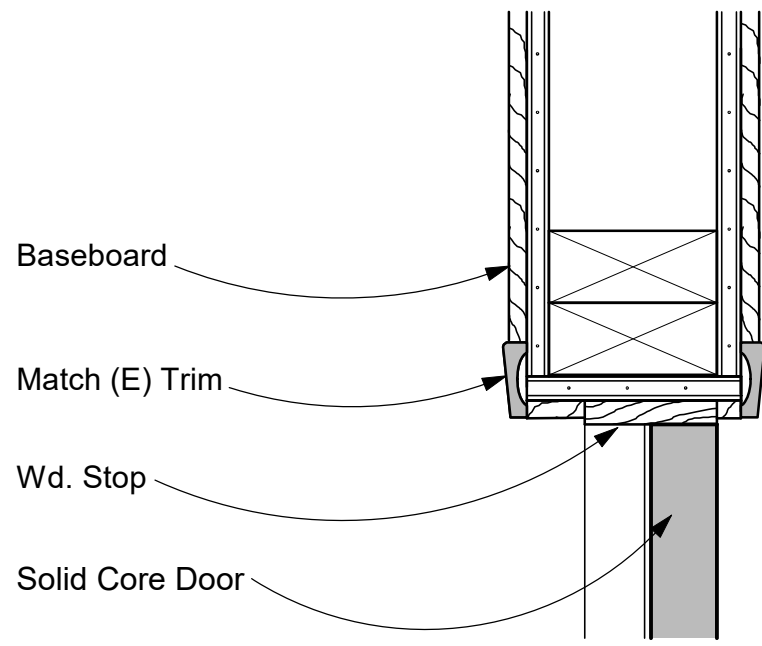
4



Interior Door Head

SCALE 3" = 1'-0"

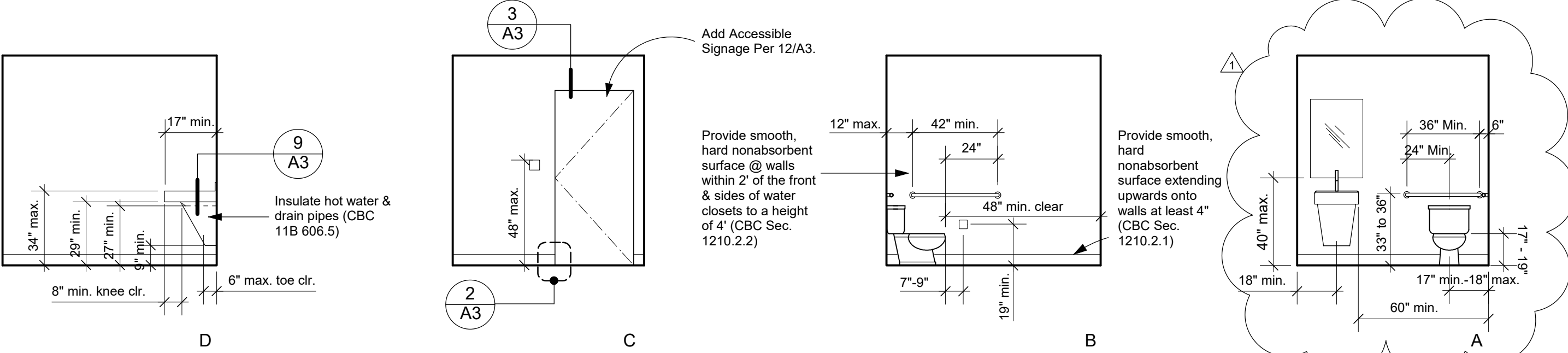
3



Interior Door @ Baseboard

SCALE 3" = 1'-0"

2



Accessible Toilet Room

SCALE 1/4" = 1'-0"

10

Accessible Laundry

SCALE 1/4" = 1'-0"

6

Tile to Wood Floor Transition

SCALE 6" = 1'-0"

1

Date	Issue
05.22.18	As-Builts
05.29.18	100% DD
06.26.18	Building Permit
07.31.18	Permit Revisions/△

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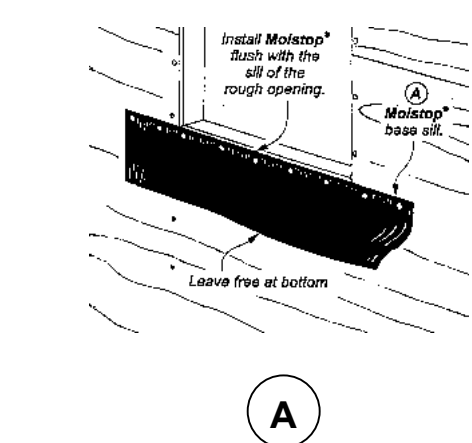
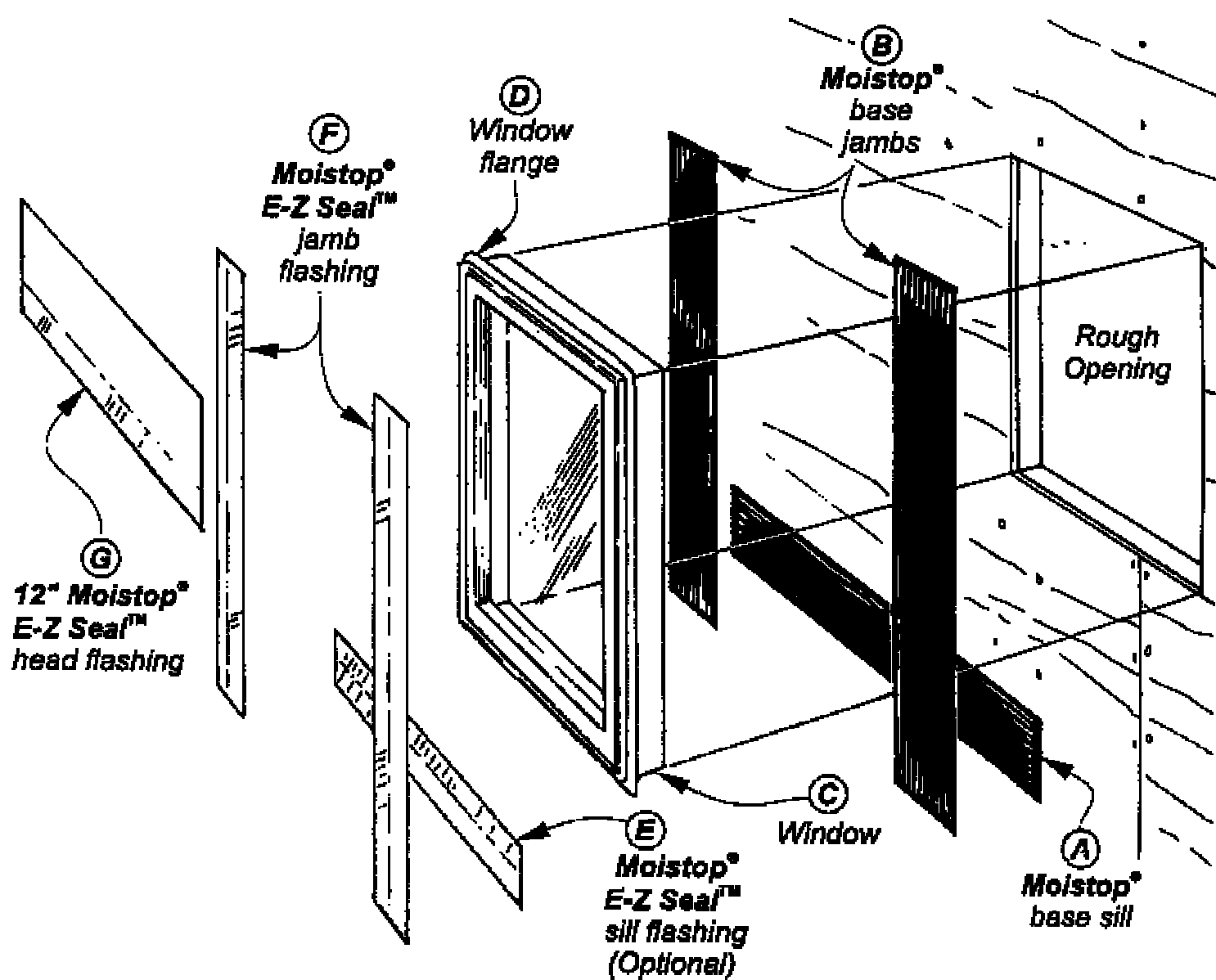


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MONTESSORI COMMUNITY SCHOOL INC.
123 S NAVARRA DRIVE
SCOTTS VALLEY, CA 95066
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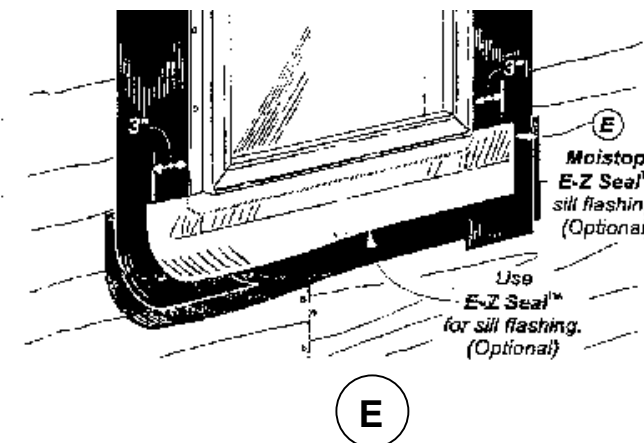
INTERIOR DETAILS/ ACCESSIBILITY	
Date	07.31.18
Scale	100% of shown
Issue	building permit
Project	2018.01
Sheet	

A 3

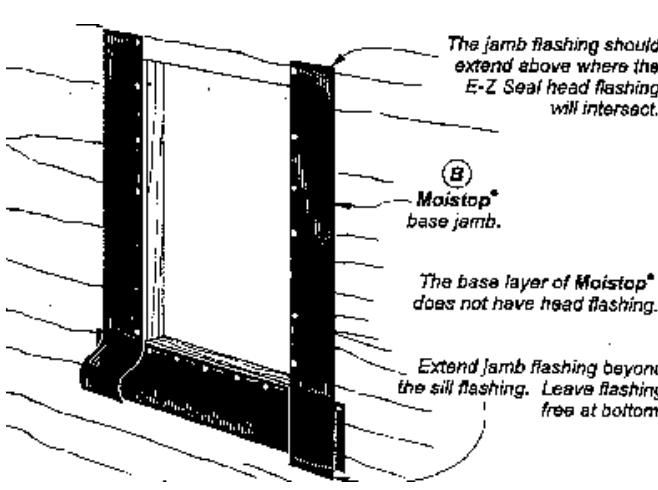
Window Flashing Diagram



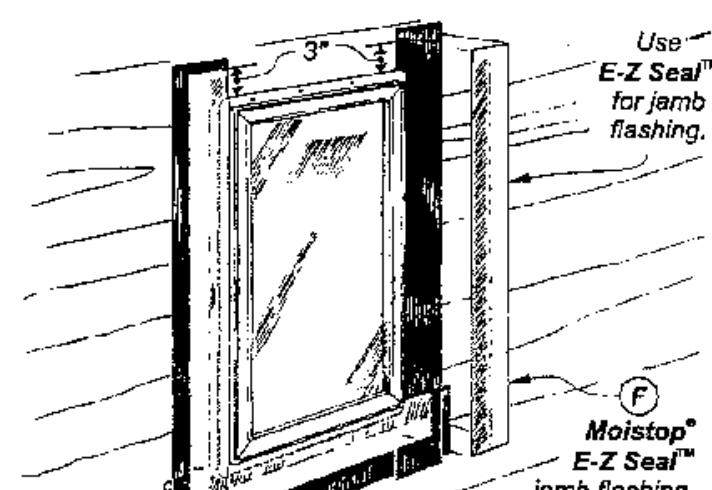
Sill Flashing Under Window



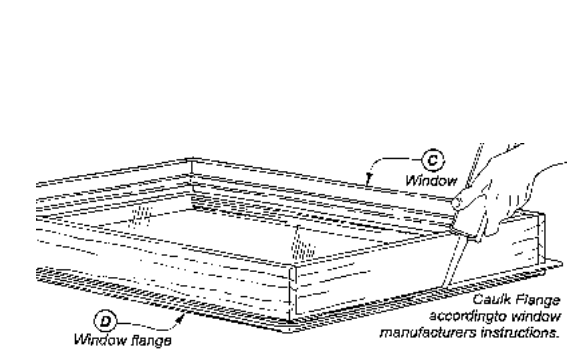
Sill Flashing Over Window



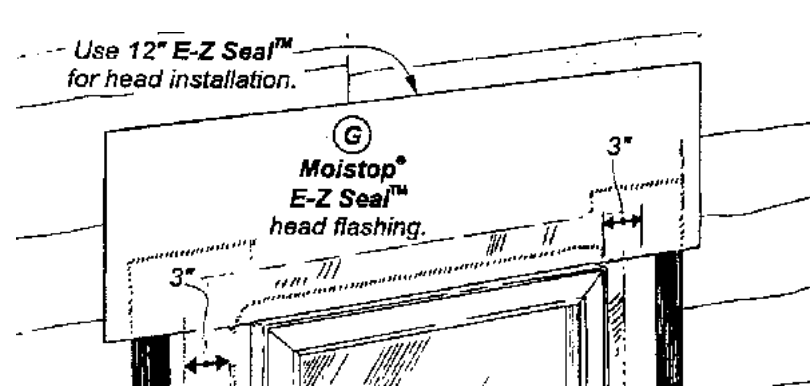
Jamb Flashing Under Window



Jamb Flashing Over Window

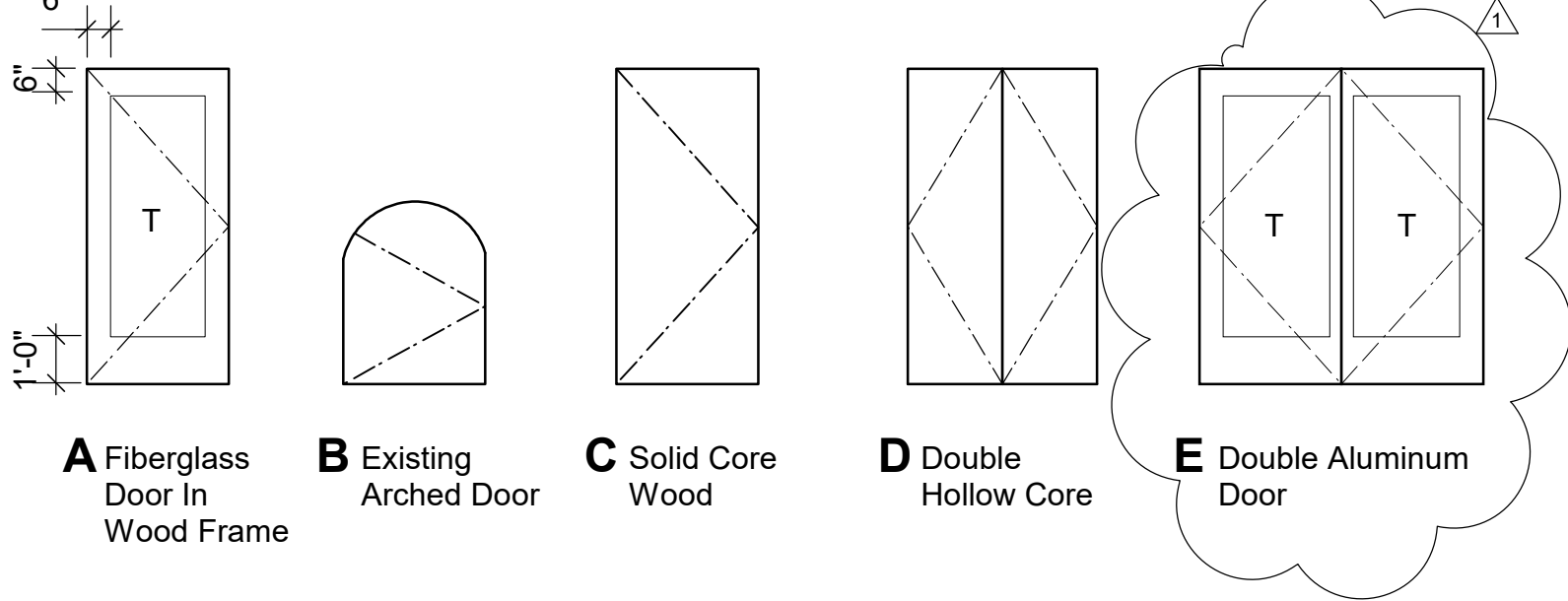


Sealant @ Window



Head Flashing Over Window

Door Types

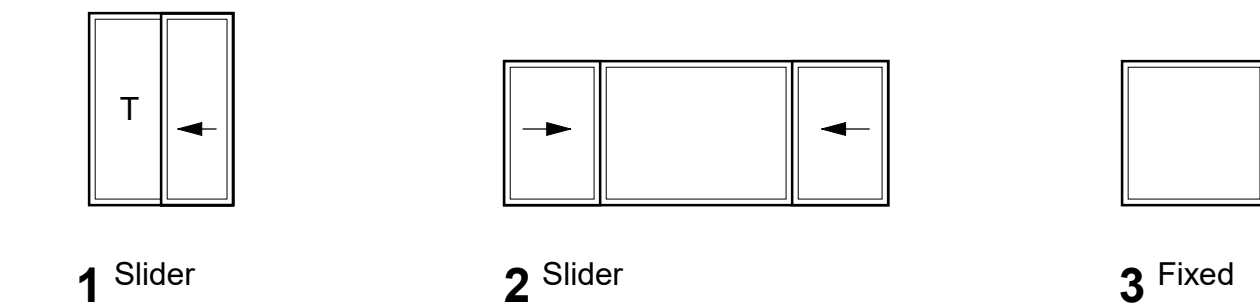


Door Schedule

Door No.	Size W x H	Type	Finish	Notes
1	3'0" x 6'8"	A	Paint to Match (E)	(N) Door to Match (E), Locking Hardware
2	3'0" x 6'8"	A		(E) Door
3	2'0" x	B		Reuse (E) Door in Observation Room & Relocate Here
4	3'0" x 6'8"	C		Reuse (E) Classroom Door, Locking Hardware
5	3'0" x 6'8" pr.	E		(E) Doors
6	2'10" x 6'8"	C		Reuse (E) HC Bath Door
7	2'0" x 6'8" pr.	D	Paint to Match (E)	Min. 32" clr Opening w/ Door Open to 90°
8	2'10" x 6'8"	C		Measure in Field & Use (E) Door If Possible
9	3'0" x 6'8"	C		Min. 32" clr Opening w/ Door Open to 90°
10	3'0" x 6'7"	C		Locking Hardware
				(E) Door, Locking Hardware, Reuse (E) Classroom Door
				Undercut Door By 1" To Provide Ventilation

- Notes:
- Use 0-VOC stains, oils & paints.
 - All accessible doors shall have a net clr. opening width of not less than 32". CBC 11B 404.2.3
 - Accessible doors maneuvering clearances per CBC 11B 404.2.4
 - Door hardware to be installed shall comply with CBC 1010.1.9 & 11B 404.2.7
 - Interior & exterior doors shall have a max. opening force of 5 lbs. CBC 11B 404.2.9.
 - Smooth surface @ bottom 10" of accessible doors. CBC 11B 404.2.10
 - Provide safety tempered glazing in all fixed and operable panels of doors. CBC 2406.4.1 (Noted on the Plans Adjacent to the Key with "T")
 - Verify size of all doors with Owner on-site prior to ordering.
 - No closers at doors.

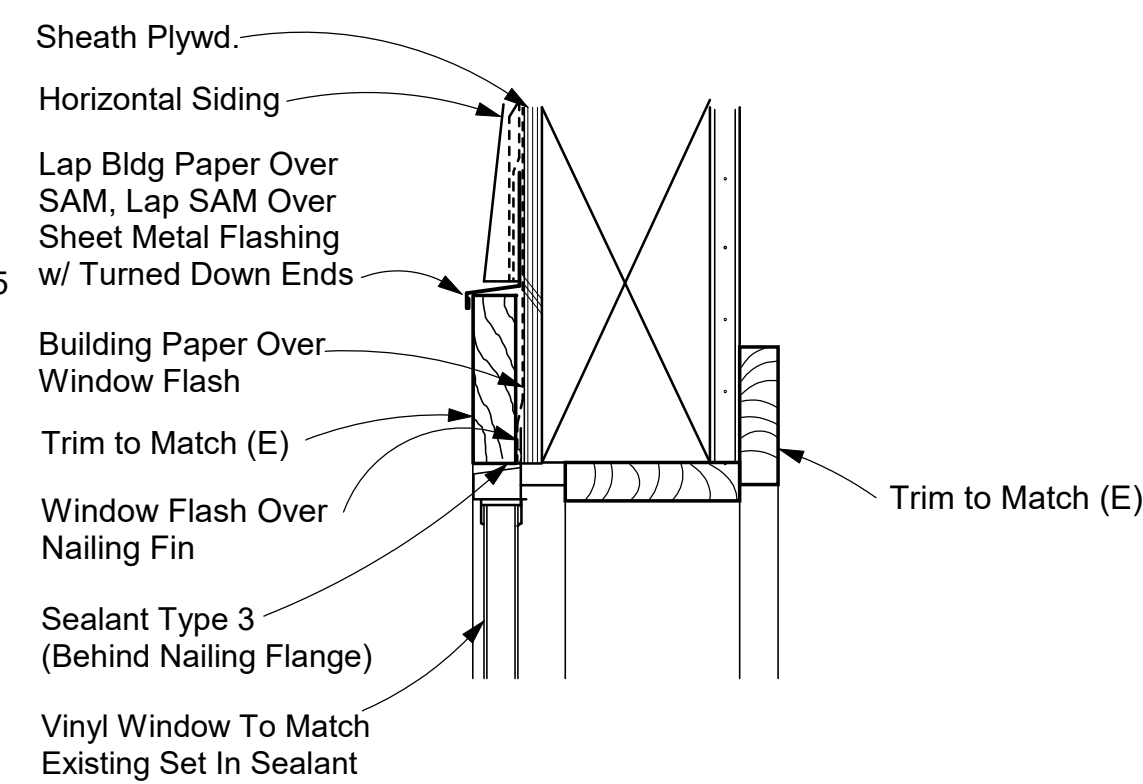
Window Types



Window Schedule

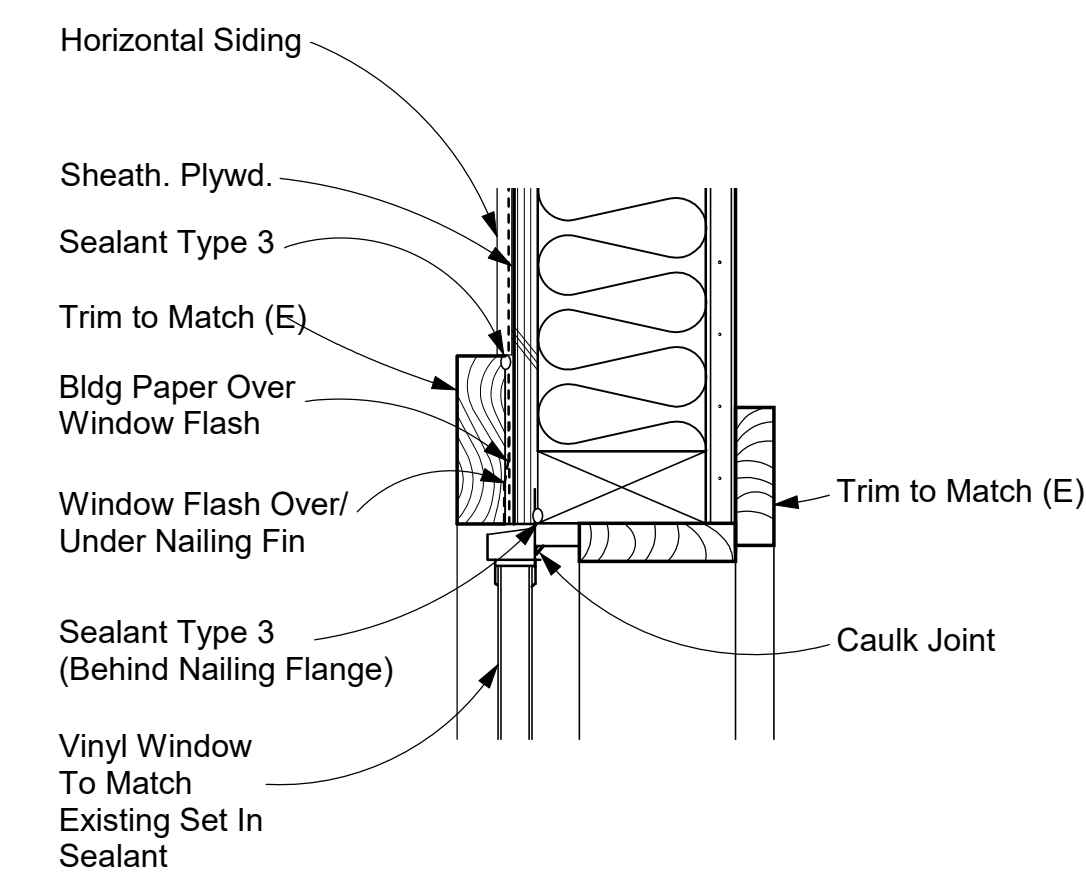
Wdw	Type	Nominal Size	Notes
A	1	3'0" x 4'0"	Tempered
B	2	3'0" x 8'0"	Replace W/ Clear Glass Window
C	3	3'0" x 3'0"	One Way Mirrored Glass
D	3	3'0" x 3'0"	Tempered, One Way Mirrored Glass

- Notes:
- All windows to be vinyl, double-glazed to match (E), unless otherwise noted in Window Schedule.
 - Provide safety tempered glazing for windows located within 24" of door opening. CBC 2406.4.2 (Noted on the plans adjacent to the key with "T")
 - Verify size of all windows with Owner on-site prior to ordering.



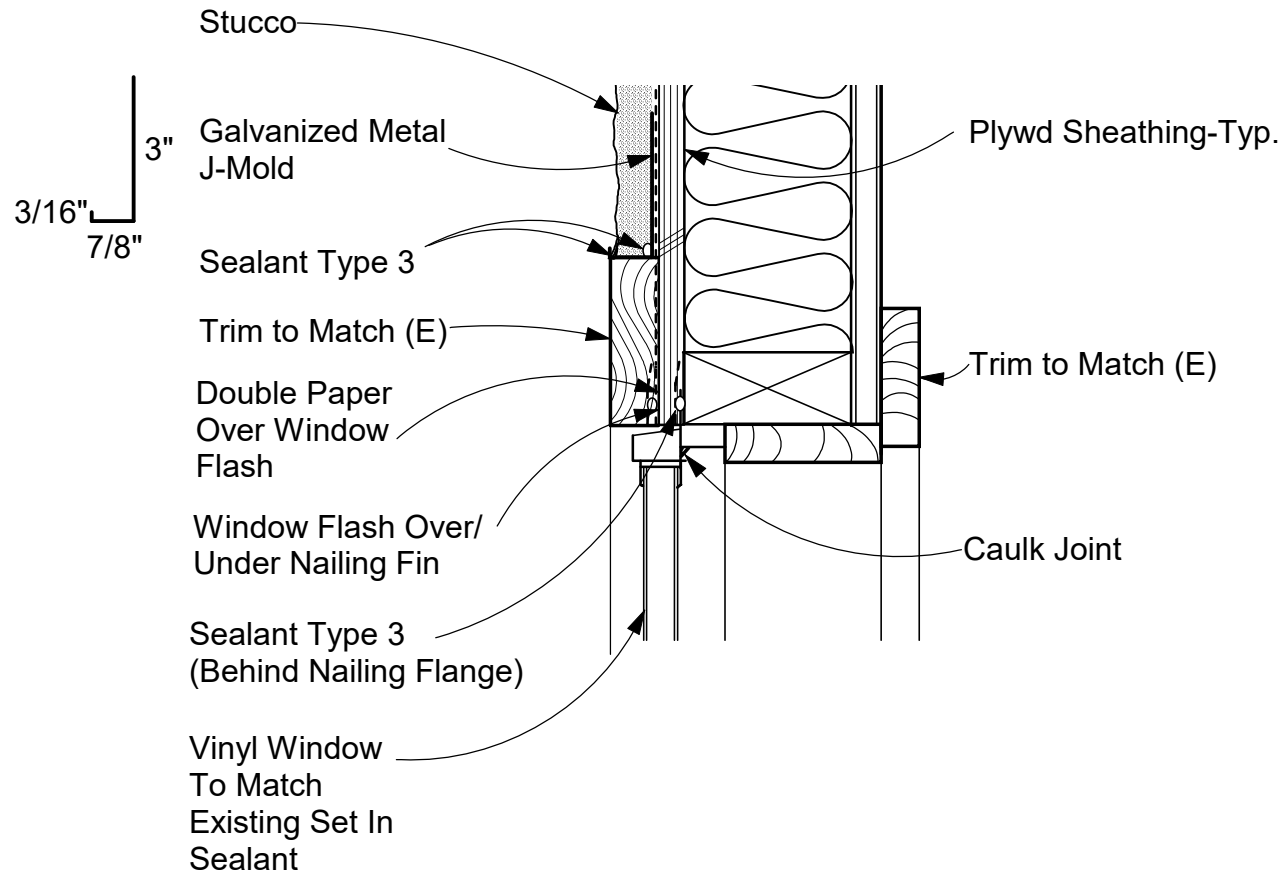
Window Head w/ Horizontal Siding

SCALE	8
3" = 1'-0"	



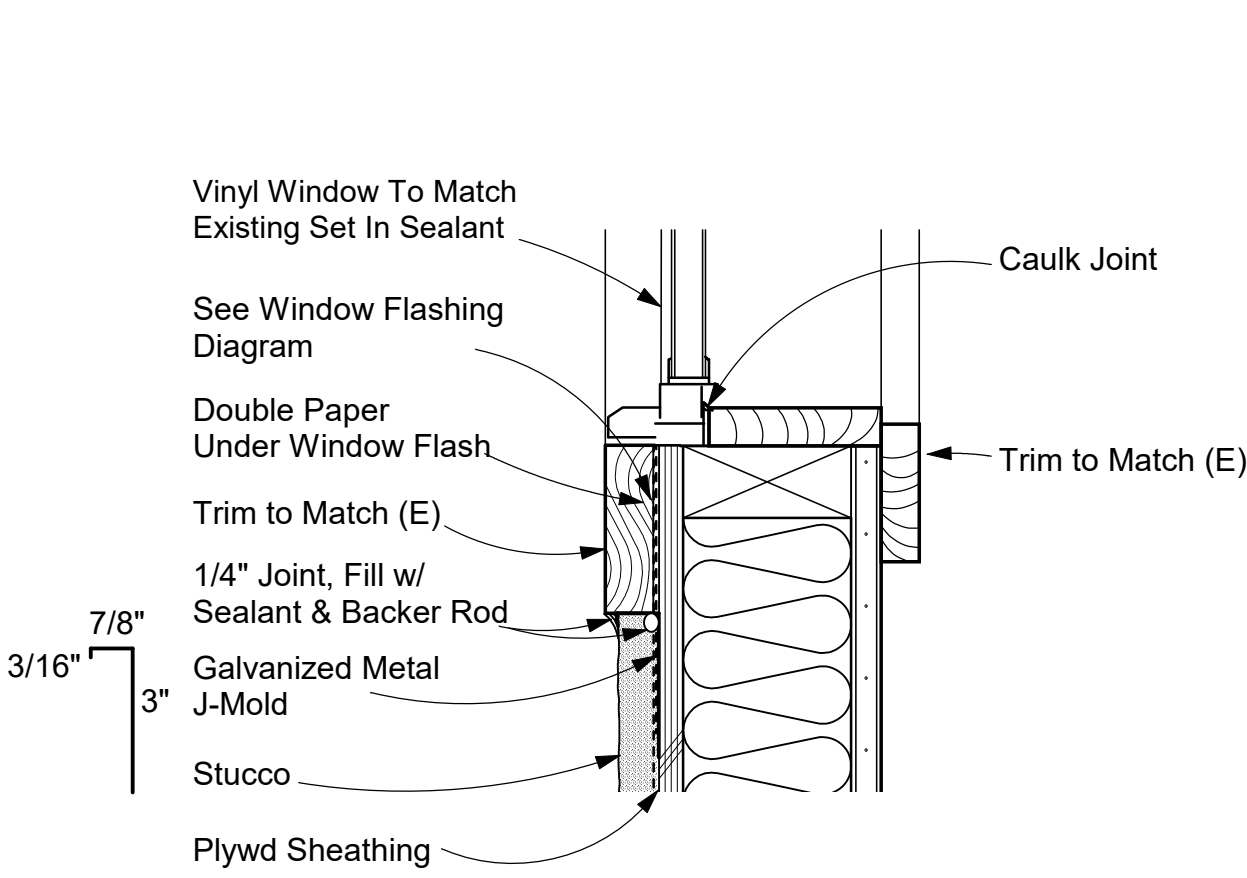
Window Jamb w/ HardiePanel Siding

SCALE	7
3" = 1'-0"	



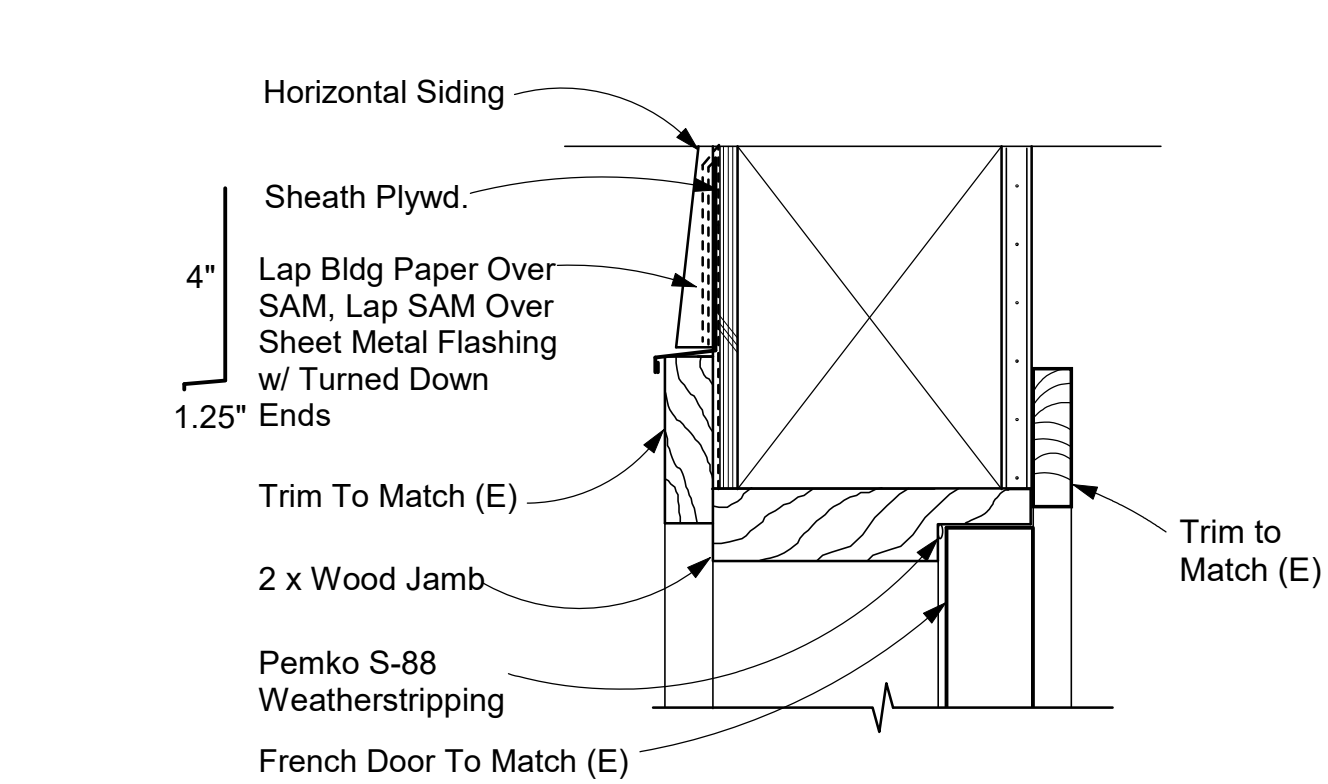
Window Jamb w/ Stucco Finish

SCALE	6
3" = 1'-0"	



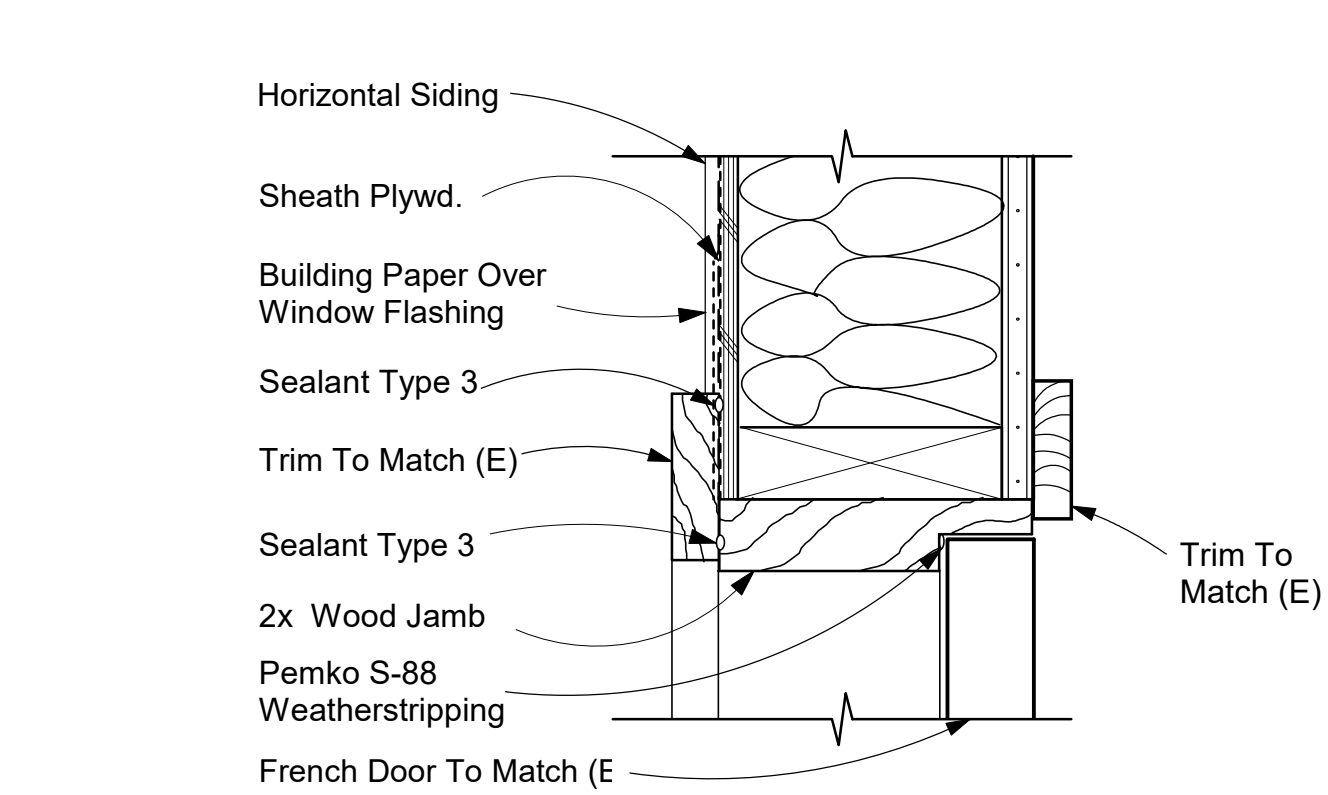
Window Sill w/ Stucco Finish

SCALE	5
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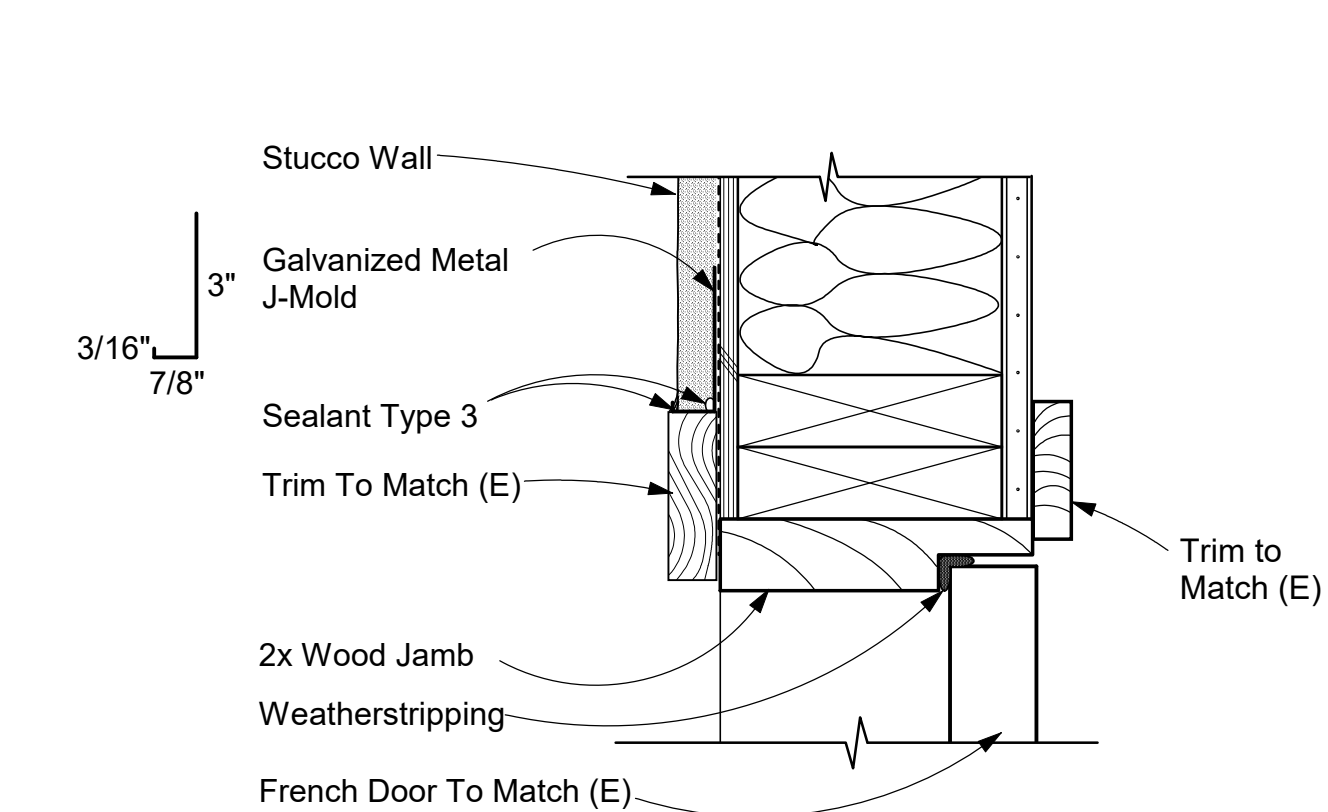
Exterior Door Head w/ Horizontal Siding

SCALE	4
3" = 1'-0"	



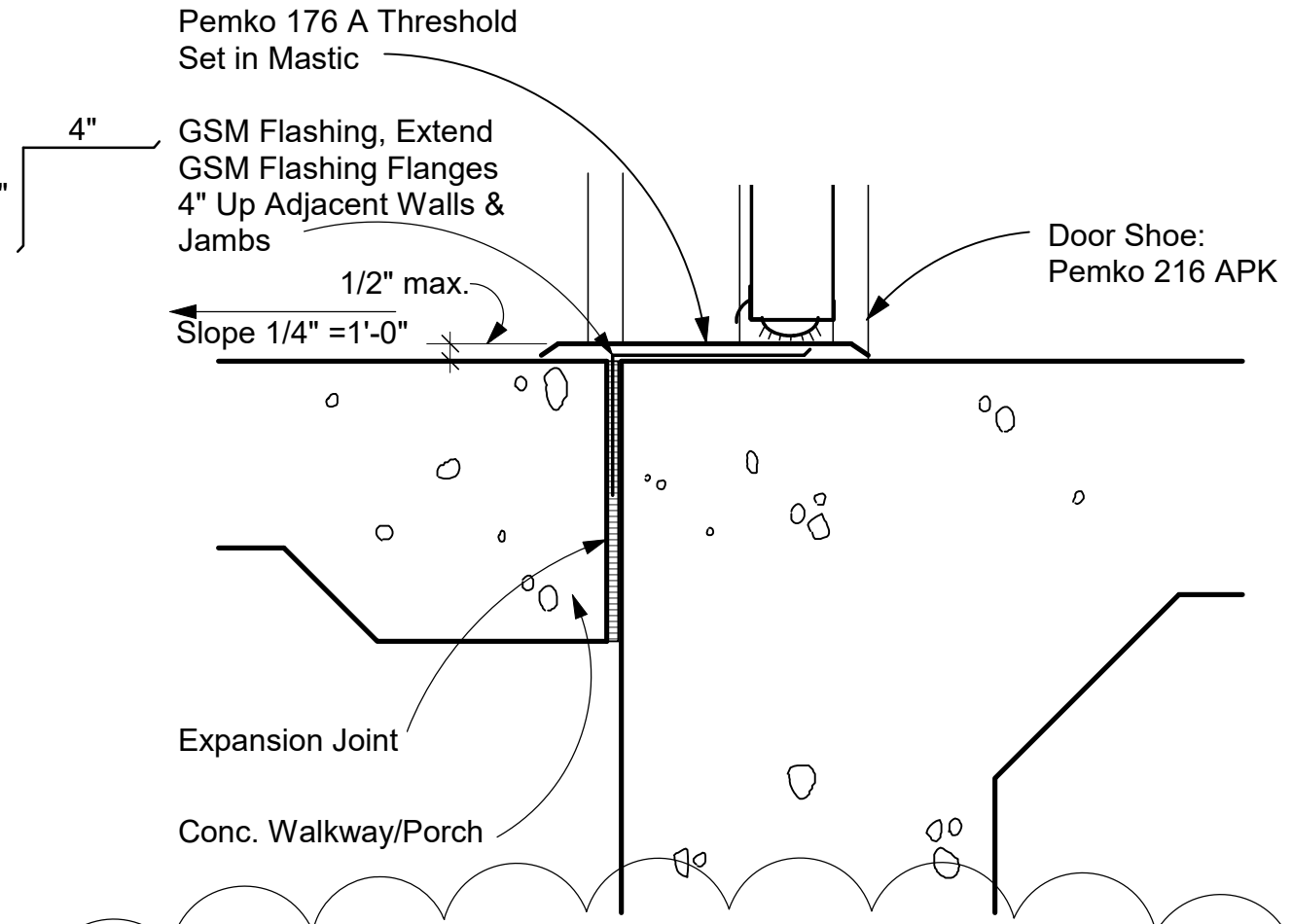
Exterior Door Jamb w/ Horizontal Siding

SCALE	3
3" = 1'-0"	



Exterior Door Jamb w/ Stucco

SCALE	2
3" = 1'-0"	



Exterior Door at Accessible Threshold

SCALE	1
3" = 1'-0"	

Date	Issue
05.22.18	As-Built
05.29.18	100% DD
06.26.18	Building Permit
07.31.18	Permit Revisions

LINDSAY TOSCANO MANGOLD
ARCHITECT, LEED A.P.
3600 Paper Mill Road
Soquel, CA 95073
tel 510 368 1984
fax 866 515 0082
lindsay@toscanoarch.com

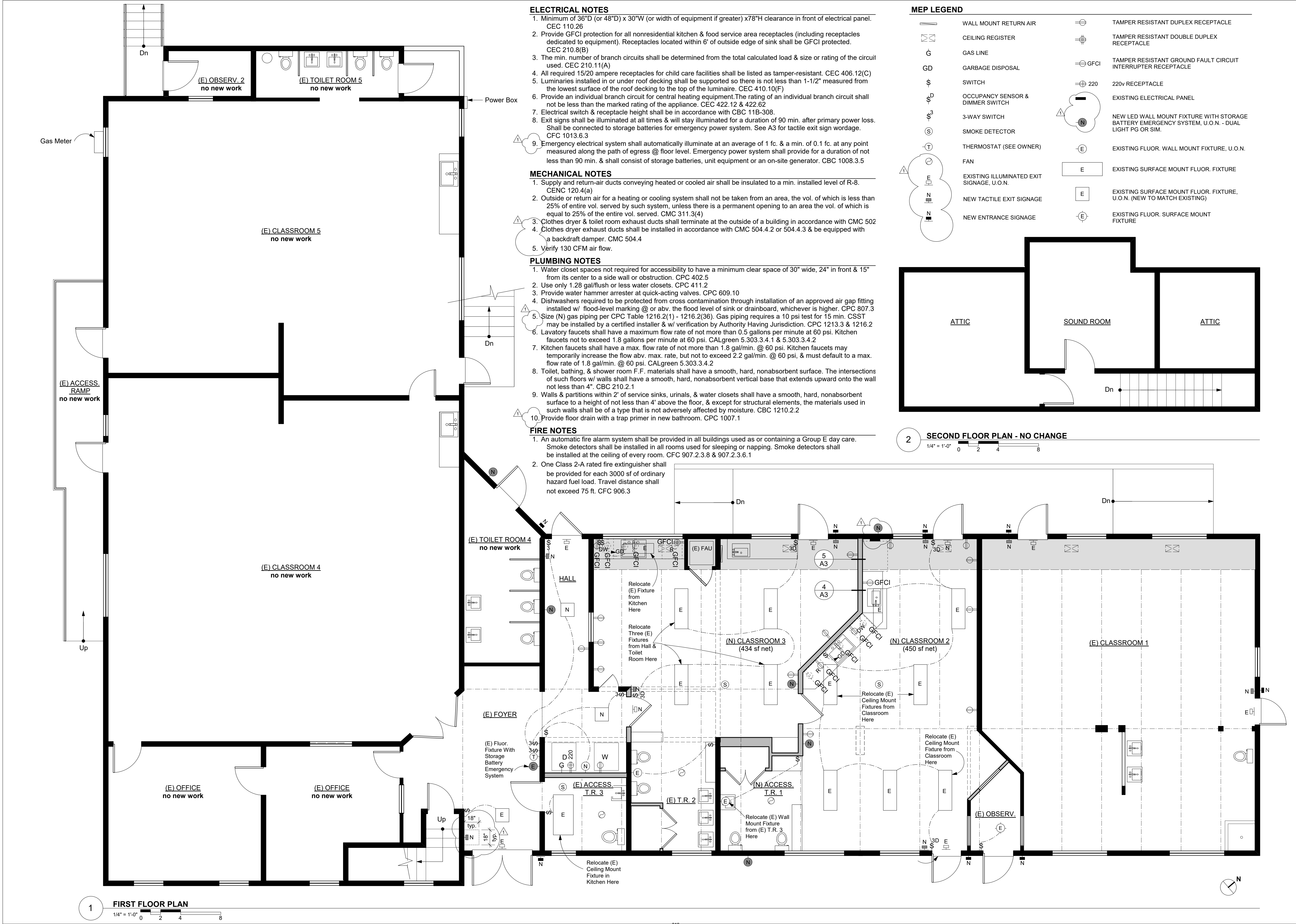


MADELYNN TERSHY
MONTESSORI COMMUNITY SCHOOL INC.
123 S NAVARRA DRIVE
SCOTTS VALLEY, CA 95066
Telephone: (831) 439.9625

EXTERIOR DETAILS/
DOOR & WINDOW
SCHEDULE

Date	07.31.18
Scale	100% of shown
Issue	building permit
Project	2018.01
Sheet	

A 4



Date	Issue
05.22.18	As-Builts
05.29.18	100% DD
06.26.18	Building Permit
07.31.18	Permit Revisions

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MADELYNN TERSHY
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RESOLUTION NO. 1364

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SCOTTS VALLEY APPROVING CONDITIONAL USE PERMIT NO. U03-002 FOR THE OPERATION OF PRE-SCHOOL FOR UP TO 88 FULL AND PART TIME STUDENTS AT 123 SOUTH NAVARRA DRIVE // APN 024-141-01.

WHEREAS, the Planning Department of the City of Scotts Valley has received the applications filed by Russell and Ellie Tershy, for Use Permit No.U03-002 for the operation of pre-school for up to 88 full and part time students located at 123 South Navarra Drive // APN 024-141-01; and,

WHEREAS, Russell and Ellie Tershy have presented substantial evidence which supports the application; and,

WHEREAS, the application was reviewed for completeness and is determined to be a "project" as defined by the California Environmental Quality Act (CEQA); and,

WHEREAS, a Mitigated Negative Declaration has been prepared pursuant to Section 15162 of California Environmental Quality Act (CEQA); and,

WHEREAS, the Mitigated Negative Declaration has been prepared and circulated for a 20 day review period and such documents are available for review at the City of Scotts Valley Planning Department, and a public notice of the availability of these documents was provided pursuant to the requirements of CEQA; and,

WHEREAS, the project is determined to not have a significant impact on the environment based on the results of an environmental assessment, and a Mitigated Negative Declaration has been prepared; and,

WHEREAS, a public hearing on the proposed project was noticed pursuant to the requirements of the Scotts Valley Municipal Code and State Law and a duly noticed public hearing was held by the Planning Commission on July 24, 2003.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Scotts Valley, hereby resolves as follows:

SECTION 1: The Planning Commission hereby approves the following findings:

1. *The Mitigated Negative Declaration for the project has been completed in compliance with CEQA.* The Mitigated Negative Declaration for the project has been completed by the City and the requirements of CEQA Section 15063 have been met.

2. *All mitigation measures identified in the Mitigated Negative Declaration are included in the resolutions approving the project and are made conditions of approval for the project. All mitigation measures have been included in a Mitigation Monitoring Reporting Program which is part of the conditions of approval.*
3. *Documents and other material constituting the record of the proceedings upon which the City's decision and its findings are based will be located at the Department of Planning of the City of Scotts Valley in the custody of the Community Development Director. Copies of the environmental documents prepared for the project were made available at the public hearing for the project. These documents have been made available to the public for review pursuant to the requirements of CEQA.*
4. *The Mitigated Negative Declaration represents the independent judgement of the City. The Mitigated Negative Declaration was prepared by the City. All reports and supporting information has been reviewed and approved by the City.*
5. *The proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the district in which the site is located. The pre-school is located in the Public/Quasi Public zoning district and the Scotts Valley Municipal Code (SVMC), Section 17.30.030, allows for educational facilities in the Public/Quasi Public zoning district upon the granting of a Use Permit. Pre-schools are considered somewhat unique in that their proximity to sensitive land uses is not generally detrimental to the quality of life and in many cases is desirable and convenient. The district is intended to provide space for community facilities needed to complement urban residential areas and for institutions which may complement a residential environment.*
6. *The establishment, maintenance, or operation of the use or wireless facility will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city. On site circulation will accommodate student drop off and pick up and emergency vehicle access. On site parking exceeds the requirement of the Scotts Valley Municipal Code. The proposed pre-school would be an intensification of use from the previous church use. The operational plan for the pre-school includes a restricted drop off and pick up schedule to reduce peak a.m. and peak p.m. trip generation. Under a restricted schedule, the project would still slightly increase trip generation during the peak a.m. and peak p.m. hours. As conditioned cumulative impacts to congestion at the Glenwood Drive and Highway 17 intersection will be reduced to less than significant. Intersection improvements have been specified and funded by the Glenwood project as defined in the Glenwood EIR, which is a certified document. Payment of a pro-rata share towards these improvements will mitigate the traffic impacts to a level of*

insignificance. The width of South Navarra Drive is sufficient to accommodate the increased trip generation. The project is located within a Sidewalk Master Plan area, and the project shall be conditioned to require sidewalk along the project frontage. Proposed six foot high fencing and landscaping around the play area will reduce noise and visual impacts to adjacent neighbors. Therefore, operation of the pre-school will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city as conditioned.

SECTION 2: The Planning Commission hereby approves the Mitigated Negative Declaration.

SECTION 3: The Planning Commission hereby approves the Use Permit as submitted to the Planning Commission with the conditions provided in Exhibit A, and the Mitigation Monitoring Reporting Program in Exhibit B, attached hereto.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff report, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve Use Permit No.U03-002 for the operation of pre-school for up to 88 full and part time students located at 123 South Navarra Drive // APN 024-141-01, subject to the conditions set forth in the attached Exhibit A and the Mitigation Monitoring Report in Exhibit B, which are incorporated herein by this reference.

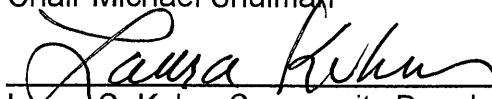
SECTION 5: Use Permit No.U03-002 shall lapse and shall become void one year from the date of this resolution unless prior to the expiration date, a building permit is issued by the City of Scotts Valley Building Division and site improvements have commenced and diligently pursued toward completion, or an extension of this approval is granted by the Planning Commission.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on the 24th day of July, 2003, by the following vote:

AYES: Commissioners Heald, Fogel, Newton and Chair Shulman
NOES:
ABSTAIN: Commissioner Muth
ABSENT:



Chair Michael Shulman



Laura C. Kuhn, Community Development Director

EXHIBIT A

CONDITIONS OF APPROVAL

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. After Planning Commission approval, the property owner shall sign the Conditions of approval (Exhibit A) agreeing to the Conditions of Approval prior to the issuance of any building or grading permits.
3. After Planning Commission approval, the property owner shall have a signed and notarized copy of a Memorandum of Agreement recognizing the Conditions of Approval for this application (provided by the City), recorded at the County Recorder's Office prior to issuance of any building or grading permits.
4. All required building permits shall be obtained and the application shall pay all appropriate fees prior to commencement of any construction on the property.
5. Applicant shall comply with any and all applicable City, State and Federal regulations and shall obtain any and all approvals and permits to satisfy the regulations.

PLANNING DEPARTMENT

6. The property owner shall obtain all necessary state licenses for the operation of the pre-school and extended care facility, prior to operating the facility. Documentation shall be provided to the Planning Department prior to operating the facility.
7. The hours of operation for the educational component of the pre-school shall be Monday through Friday from 9:00 a.m. to 4:00 p.m.

8. The hours of operation for the extended care shall be 7:00 a.m. to 9:00 a.m. and after school from 4:00 p.m. to 6:00 p.m.
9. Any change to the proposed hours of operation shall require review and approval from the Planning Commission.
10. Total enrollment shall not exceed 88 students.
11. The maximum number of students in attendance at any one time during the day shall be limited to 67 students.
12. Fences, retaining walls, and landscaping for the play area shall be installed within three months of project approval.
13. Parking lot improvements shall be completed prior to occupancy of the building. Parking lot landscaping shall be completed within three months of project approval.
14. Temporary fencing around the play area shall be allowed for up to three months after project approval. Temporary fencing shall reviewed and approved by the Community Development Director prior to installation.
15. The Planning Department staff shall review and approve the final playground equipment, prior to installation.
16. Project site is in an area of moderate sensitivity for archaeological resources and all earth work shall comply with City regulations. Evaluation of grading quantities and requirements for archaeological monitoring shall be completed prior to issuance of a building or grading permit or any grading for the project.
17. In order to reduce trip generation during the a.m. and p.m. peak hours, the school shall operate under a restricted schedule. The school day shall begin at 9:00 a.m. and end at 4:00 p.m. The school shall work with parents to develop drop-off and pick-up schedules that would minimize the number of drop-off trips between 7:30 and 8:30 a.m. and the number of pick-up trips between 4:30 p.m. and 5:30 p.m.
18. The school shall limit the number of drop-offs between 7:30 and 8:30 a.m. to 8 students and shall limit the number of pick-ups between 4:30 p.m. and 5:30 p.m. to 8 students. The applicant shall levy late charges to encourage parents to pick up children immediately after the end of the school session, and the description of the late charges shall be incorporated directly into the Parking and Traffic Pledge.

19. The applicant has developed a Parking and Traffic Pledge which shall be signed by each parent. This pledge shall states that the traffic plan has been developed in conjunction with the school's Use Permit and is a serious attempt to make the South Navarra Drive area safe for both the school's students and neighbors. The Plan is subject to review and approval by the Planning and Public Works Departments.
20. In order to mitigate the project impact of increased trip generation during the a.m. and p.m. peak periods under the restricted schedule, which is equal to 16 trips (8 inbound and 8 outbound trips during each period), the applicant shall pay a pro-rata share of the cost of the intersection improvements as defined in the Glenwood EIR. The estimated cost of the intersection improvements is \$400,000.00. Under the restricted schedule, the project would generate an additional 0.87% (average of peak a.m. and peak p.m.) of traffic volume in the interchange. The school's pro-rata contribution to intersection improvements would therefore be $0.87\% \times \$400,000.00$, or \$3,468.00. (Note: It is understood that payment of the intersection reimbursement is voluntary. Without payment of the reimbursement, however, the project would have an unmitigated traffic impact which would require that the applicant either postpone operation of the school until the intersection improvements have been completed, complete the intersection improvements prescribed in the Glenwood EIR themselves, or prepare a project specific EIR which develops alternate and acceptable mitigation.)
21. In order to mitigate the project impact of increased trip generation during the a.m. and p.m. peak periods under the unrestricted schedule, which is equal to up to 81 during the a.m. peak and up to 56 trips in the p.m. peak, the applicant shall pay a pro-rata share of the cost of the intersection improvements as defined in the Glenwood EIR. The estimated cost of the intersection improvements is \$400,000.00. Under the unrestricted schedule, the project would generate a total cumulative impact of 3.43% of traffic volume in the intersection. The school's pro-rata contribution to intersection improvements would therefore be $3.43\% \times \$400,000.00$, or \$13,718.00. Giving credit to the \$3,468.00 paid initially, the net additional pro-rata share would be \$10,250.00. The decision to shift to an unrestricted schedule, and therefore the requirement to pay the additional pro-rata share, shall be at the applicant's discretion upon review and approval of the Planning Commission. If a shift to an unrestricted schedule is made without benefit of City review and approval, penalties shall include collection of all applicable pro-rata impact fees from the applicant with interest from the date the schedule change commenced. If a change is made to the operating schedule that is not approved by the Planning Commission, penalties shall be levied up to the revocation of the Use Permit. Any request to change the school's operating schedule shall be accompanied with a traffic analysis and shall require the review and approval of the Planning and Public Works Departments. Any schedule change shall be subject to review and approval by the Planning Commission. (Note: It is understood that an unrestricted schedule will not be

considered until the intersection improvements prescribed in the Glenwood EIR have been installed. At this time, the Glenwood Reimbursement Agreement will be in place and payment of the reimbursement will be mandatory rather than voluntary.)

22. Cumulative traffic impacts under an unrestricted schedule have been estimated under a worst-case scenario and would likely occur only if the school shifted the formal school hours into the peak commute periods (i.e., begin school before 8:30 a.m. and end school after 4:30 p.m.). Upon the request of the applicant and submittal of supporting documentation, the City shall consider establishing the ultimate pro-rata fee for the project based on the actual arrival/departure distribution of students once the project is developed and in operation.
23. In order to increase pedestrian and bicyclist safety, a "pedestrian path" (an all-weather surface five feet in width) shall be installed along the project frontage as approved by the Public Works Director.
24. In order to increase pedestrian and bicyclist safety, 25 mph school zone signs shall be posted as directed by the Public Work Director.

Building Department

25. All U.B.C. requirements for an E1 occupancy shall be complied with prior to occupancy of the building.

Fire District

26. Parking space number five shall be removed and the landscape median adjacent to parking space number 25 shall be reduced prior to occupancy of the building.

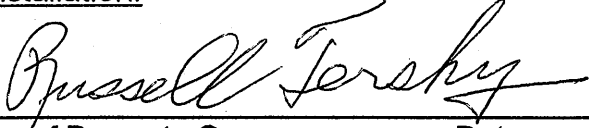
Public Works

27. The Department of Public Works shall review parking lot circulation in the event that vehicles have difficulty entering the northern driveway.

** Added by the Planning Commission 07/24/03*

28. The trash enclosure shall be removed or relocated to a location that minimizes impacts to adjacent residential properties within three months of project approval. The location and design of a new trash enclosure or alternative trash collection method shall be reviewed and approved by the Community Development Director prior occupancy of the building.

29. Bollards shall be installed along the southeastern property line within three months of project approval. The location and materials shall be reviewed and approved by the Community Development Director prior to installation.
30. Additional evergreen landscaping shall be installed along the northwest and northeast sides of the play area within three months of project approval. A revised landscape Plan shall be reviewed and approved by the Community Development Director prior to installation.
31. An air tight fence in the board and baton style shall be constructed around the play area within three months of project approval. Fence specifications shall be reviewed and approved by the Community Development Director prior to installation.



Signature of Property Owner

Date

8/20/03

PLANNING COMMISSION RESOLUTION NO. 1364

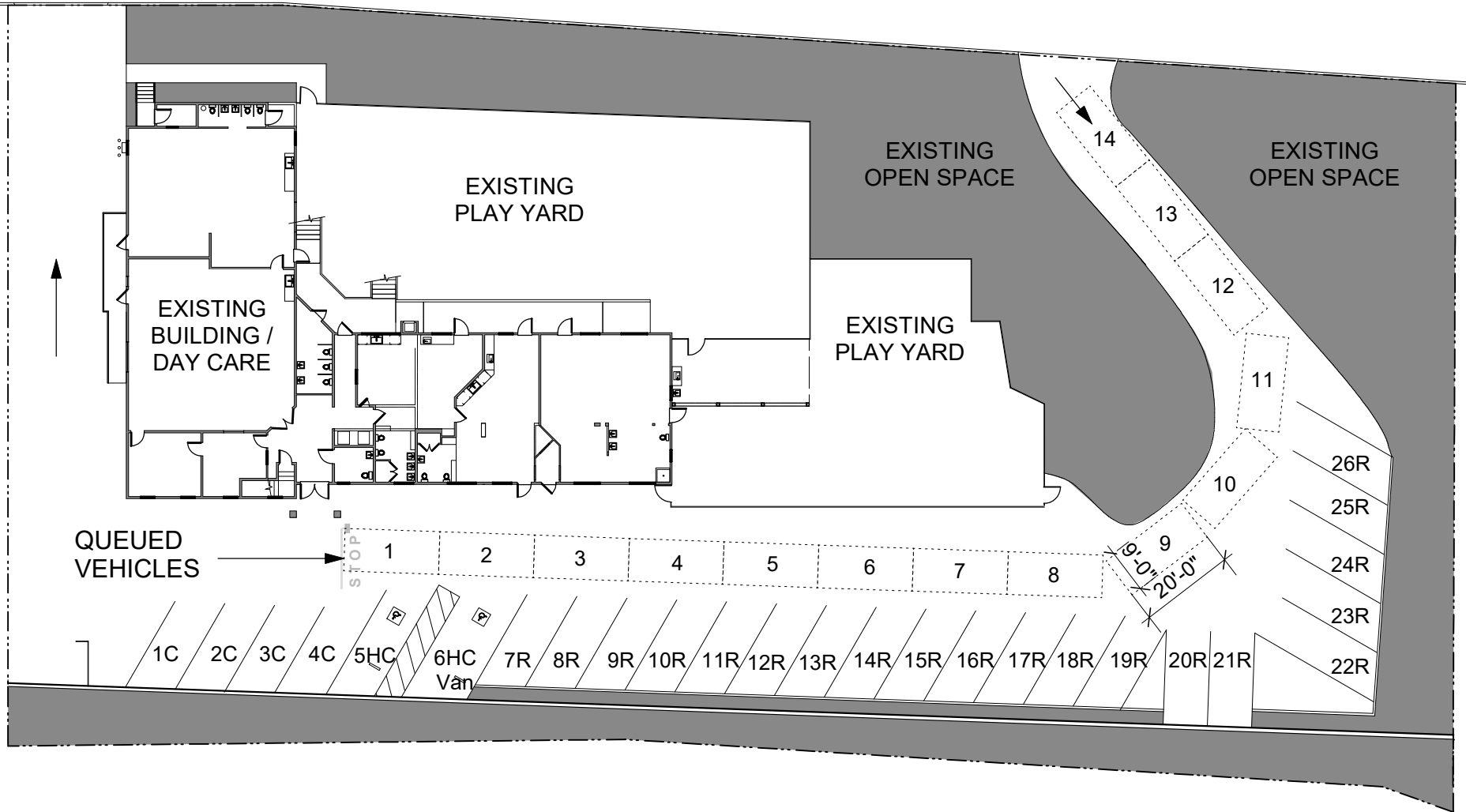
EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM 123 SOUTH NAVARRA DRIVE

Mitigation Measures for Transportation and Traffic	Monitoring/ Reporting Responsibility	Monitoring/Reporting Requirement
In order to reduce trip generation during the a.m. and p.m. peak hours, the school shall operate under a restricted schedule. The school day shall begin at 9:00 a.m. and end at 4:00 p.m. The school shall work with parents to develop drop-off and pick-up schedules that would minimize the number of drop-off trips between 7:30 and 8:30 a.m. and the number of pick-up trips between 4:30 p.m. and 5:30 p.m.	Planning Department	The Planning Department shall monitor from time to time the operation of the pre-school.
The school shall limit the number of drop-offs between 7:30 and 8:30 a.m. to 8 students and shall limit the number of pick-ups between 4:30 p.m. and 5:30 p.m. to 8 students. The applicant shall levy late charges to encourage parents to pick up children immediately after the end of the school session, and the description of the late charges shall be incorporated directly into the Parking and Traffic Pledge.	Planning Department	The Planning Department shall monitor from time to time the operation of the pre-school.
The applicant has developed a Parking and Traffic Pledge which shall be signed by each parent. This pledge states that the traffic plan has been developed in conjunction with the school's Use Permit and is a serious attempt to make the South Navarra Drive area safe for both the school's students and neighbors. The Plan is subject to review and approval by the Planning and Public Works Departments.	Planning Department & Public Works Department	The Public Works Director and Planning Department shall review the Parking and Traffic Pledge prior to occupancy of the building.
In order to mitigate the project impact of increased trip generation during the a.m. and p.m. peak periods under the restricted schedule, which is equal to 16 trips (8 inbound and 8 outbound trips during each period), the applicant shall pay a pro-rata share of the cost of the intersection improvements as defined in the Glenwood EIR. The estimated cost of the intersection improvements is \$400,000.00. Under the restricted schedule, the project would generate an additional 0.87% (average of peak a.m. and peak p.m.) of traffic volume in the interchange. The school's pro-rata contribution to intersection improvements would therefore be 0.87% x \$400,000.00, or \$3,468.00. (Note: It is understood that payment of the intersection reimbursement is voluntary. Without payment of the reimbursement, however, the project would have an unmitigated traffic impact which would require that the applicant either postpone operation of the school until the intersection improvements have been completed, complete the intersection improvements prescribed in the Glenwood EIR themselves, or prepare a project specific EIR which develops alternate and acceptable mitigation.)	Planning Department & Public Works Department	The Public Works Director and Planning Department shall ensure payment of the pro-rata fee prior to occupancy of the building.
In order to mitigate the project impact of increased trip generation during the a.m. and p.m. peak	Planning	The Public Works Director and

Mitigation Measures for Transportation and Traffic	Monitoring/Reporting Responsibility	Monitoring/Reporting Requirement
periods under the unrestricted schedule, which is equal to up to 81 during the a.m. peak and up to 56 trips in the p.m. peak, the applicant shall pay a pro-rata share of the cost of the intersection improvements as defined in the Glenwood EIR. The estimated cost of the intersection improvements is \$400,000.00. Under the unrestricted schedule, the project would generate a total cumulative impact of 3.43% of traffic volume in the intersection. The school's pro-rata contribution to intersection improvements would therefore be 3.43% x \$400,000.00, or \$13,718.00. Giving credit to the \$3,468.00 paid initially, the net additional pro-rata share would be \$10,250.00. The decision to shift to an unrestricted schedule, and therefore the requirement to pay the additional pro-rata share, shall be at the applicant's discretion upon review and approval of the Planning Commission. If a shift to an unrestricted schedule is made without benefit of City review and approval, penalties shall include collection of all applicable pro-rata impact fees from the applicant with interest from the date the schedule change commenced. If a change is made to the operating schedule that is not approved by the Planning Commission, penalties shall be levied up to the revocation of the Use Permit. Any request to change the school's operating schedule shall be accompanied with a traffic analysis and shall require the review and approval of the Planning and Public Works Departments. Any schedule change shall be subject to review and approval by the Planning Commission. (Note: It is understood that an unrestricted schedule will not be considered until the intersection improvements prescribed in the Glenwood EIR have been installed. At this time, the Glenwood Reimbursement Agreement will be in place and payment of the reimbursement will be mandatory rather than voluntary.)	Department & Public Works Department	Planning Department shall determine the ultimate pro-rata fee for the project in the event the restricted schedule is amended.
Cumulative traffic impacts under an unrestricted schedule have been estimated under a worst-case scenario and would likely occur only if the school shifted the formal school hours into the peak commute periods (i.e., begin school before 8:30 a.m. and end school after 4:30 p.m.). Upon the request of the applicant and submittal of supporting documentation, the City shall consider establishing the ultimate pro-rata fee for the project based on the actual arrival/departure distribution of students once the project is developed and in operation.	Planning Department & Public Works Department	The Public Works Director and Planning Department shall determine the ultimate pro-rata fee for the project in the event the restricted schedule is amended.
In order to increase pedestrian and bicyclist safety, a "pedestrian path" (an all-weather surface five feet in width) shall be installed along the project frontage as approved by the Public Works Director.	Planning Department & Public Works Department	The Public Works Director and Planning Department shall ensure that the pedestrian path is installed prior to occupancy.
In order to increase pedestrian and bicyclist safety, 25 mph school zone signs shall be posted as directed by the Public Work Director.	Planning Department & Public Works Department	The Public Works Director and Planning Department shall ensure installation of the signs prior to occupancy.

NAVARRA DRIVE



Keith Higgins

Traffic Engineer

August 19, 2021

Madelynn Tershy
Montessori Community School
123 S. Navarra Drive
Scotts Valley, CA 95066

Re: Montessori School Expansion Traffic Evaluation, Scotts Valley, CA

Dear Madelynn,

As you requested, this letter discusses the traffic effects for the proposed increase in the enrollment of the existing Montessori Community School, 123 S. Navarra Drive, Scotts Valley, California from the existing 88 students to 110 students. This is an increase of 22 students. The evaluation is based on a review of previous traffic studies prepared by my previous firm, Higgins Associates, additional Scotts Valley Community Development Department documents and correspondence as well as the proposed site plan.

The hours of operation will continue to be Monday through Friday 7:00 am - 6:00 pm. There is no proposed change to the existing school hours. The school day will continue to begin at 9:00 am and end at 4:00 pm and the extended care before school will be from 7:00 am to 9:00 am and after school will be from 4:00 pm to 6:00 pm. The total number of employees and employees working at the largest shift will remain 20.

The primary issue is whether additional traffic analysis is required based on the "Guidelines for Preparing Traffic Impact Studies," City of Scotts Valley Public Works Department, February 2009. A brief discussion is also included regarding the proposed project's requirements to perform a vehicle-miles-traveled (VMT) analysis in compliance with the new California Senate Bill 743 regarding California Environmental Quality Act (CEQA) transportation impact analysis.

A. Existing Conditions

According to the Scotts Valley Community Development Department, there is no record of recent complaints regarding traffic impacts in the Navarra Drive neighborhood. Current traffic operations are acceptable.

B. Project Traffic Effects

The proposed method of accommodating the increased enrollment is to add two additional drop-off and pick-up time periods. As indicated in **Table 1** on the following page, these will occur between 10 and 11 in the morning for student drop-off and 2 and 3 in the afternoon for student pick-up. The number of families (or student pick-ups or drop-offs) during each 30-minute time period is proposed to be reduced from a maximum of 16 families to a

maximum of 14 families to reduce the potential for queue spill over by entering vehicles onto Navarra Drive. About 10% of families also walk to and from school rather than travel by car.

The drop-off and pick-up schedules are also proposed to continue to include a maximum of 8 drop-offs between 7:30 and 8:30 in the morning and 8 pick-ups between 4:30 and 5:30 (i.e., 8 families) in the afternoon per Conditions of Approval 17 through 19 of Planning Commission Resolution No. 1364, July 24, 2003. Incidentally, for a point of clarification, the term “students” in that document should be corrected to “student pick-ups” and “student drop-offs” to correspond with the original traffic study prepared by my previous firm that is referenced in the 2003 Planning Commission staff report and mitigation measures. This more accurately reflects the findings and recommendations of the original traffic study. It also accounts for the fact that an individual vehicle could drop off or pick up more than one student. Also, “student drop-offs” and “student pick-ups” also are synonymous with “families, which is the term used by Montessori School in their communications with parents.

Drop Off Schedule	
Existing (Maximum)	Proposed (Maximum)
7:00-7:30am: 16 families	7:00-7:30am: 14 families
7:30-8:30am: 8 families	7:30-8:30am: 8 families
8:30am-9:00am: 16 families	8:30am-9:00am: 14 families
9:00am-9:30am: 16 families	9:00am-9:30am: 14 families
9:30am-10:00am:16 families	9:30am-10:00am:14 families
	10:00-10:30am: 13 families
	10:30-11:00am: 13 families
Pick Up Schedule	
Existing (Maximum)	Proposed (Maximum)
	2:00-2:30pm: 14 families
	2:30-3:00pm: 14 families
3:00-3:30pm: 16 families	3:00-3:30pm: 14 families
3:30-4:00pm: 16 families	3:30-4:00pm: 14 families
4:00-4:30pm: 16 families	4:00-4:30pm: 14 families
4:30-5:30pm: 8 families	4:30-5:30pm: 8 families
5:30-6:00pm: 16 families	5:30-6:00pm: 13 families

Note: Numbers of families are maximum per 30-minute interval and include pedestrians as well as vehicles.

Table 1 – Drop Off and Pick Up Schedule

Madelynn Tershy
August 19, 2021

There will actually be a slight reduction in hourly traffic flow rates into and out of the project. No additional queuing will occur at the existing School driveways. No increase in School traffic will occur during the morning and evening street peak hours. There will therefore be an immeasurable effect on traffic operations on nearby major streets and junctions such as Granite Creek Road, Scotts Valley Drive, and the Highway 17 / Granite Creek Road interchange.

C. Vehicle Miles Traveled Evaluation

The “Analyzing Vehicle Miles Traveled for CEQA Compliance SB 743 – Implementation Guidelines for the County of Santa Cruz,” Santa Cruz County Planning Department, Implemented July 2020, Updated May 2021 (VMT Guidelines), requires the use of vehicle-miles traveled (VMT) as the basis for determining significant transportation impacts under the California Environmental Quality Act (CEQA) for all pending and future development projects in Santa Cruz County. According to Page 3 of the VMT Guidelines, one screening criteria for determining if a project will have a less-than-significant impact is if the project will generate less than 110 trips per day. According to the “Trip Generation Manual,” Institute of Transportation Engineers (ITE), 10th Edition, 2017 a private school can be expected to generate about 4.07 trips per day per student. This includes employees, deliveries, visitors, and other incidental trips as well as students being dropped off and picked up. For perspective, a single student being dropped off and picked up each day by car generates 4 trips per day. This includes an inbound and outbound trip when being dropped off in the morning and an inbound and outbound trip when being picked up in the afternoon. The actual trip rate for student drop-off and pick-up is less than that because there are on average more than one student per vehicle and some students walk to and from school accompanied by a parent or guardian. Assuming the worst-case trip generation rate of 4.07, the additional 22 students would generate about 90 trips per day. This is less than the significance threshold of 110 daily trips. On an annual average basis, which would account for no school on weekends, holidays and vacations, the annual average daily trip generation would be lower. The proposed increase in enrollment will therefore have a less-than-significant VMT impact and require no additional VMT analysis.

D. Conclusion

In conclusion, the proposed increase in enrollment will not result in any qualitative change in traffic in the Navarra Drive neighborhood or nearby arterial street system. It will also have an insignificant VMT impact. No additional traffic and circulation analysis is therefore required.

If you have any questions regarding the contents of this proposal or need additional information, please do not hesitate to contact me at your convenience. Thank you for the opportunity to assist you with this project.

Respectfully submitted,

Keith Higgins

Keith B Higgins, PE, TE