



A G E N D A

Scotts Valley Planning Commission In-Person and Remote Access

Date: March 9, 2023

Time: 6:00 PM

CITY OF SCOTTS VALLEY 1 Civic Center Drive Scotts Valley, CA 95066 831-440-5635	MEETING LOCATION City Council Chambers 1 Civic Center Drive Scotts Valley, CA 95066 OR Zoom Video Conference https://us02web.zoom.us/j/88671741298	POSTING: The agenda was posted on 3/03/2023 at City Hall, SV Senior Center, SV Public Works and on the Internet at www.scottsvalley.org
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Public Participation

The meeting will be available on Zoom. For those wishing to participate via Zoom, you can join from a PC, Mac, iPad, iPhone or Android device by entering or clicking on the following URL: <https://us02web.zoom.us/j/88671741298>

You will be given an opportunity to provide public comment at the appropriate times throughout the meeting via Zoom.

How to comment via Zoom:

1. At the appropriate times during the meeting for public comment on items not on the agenda and on specific agenda items, the Planning Commission Chair will announce that public comment will be accepted. Our usual time limits of three minutes per individual, or five minutes for an individual who is representing a group of three or more, will apply. Please note that per our standard practice, this is not a question and answer time, but simply a time for you to provide comments to the Planning Commission.
2. There is an option on Zoom to raise your hand. Please click on this option when the Chair announces that public comments will be taken. If you are participating via dial-up only, use *9 to raise your hand at the requested time. Zoom places people in line automatically. When it is your turn, you will be un-muted and you will be able to make your comments based on the above time frames. Once your time is up, you will once again be muted and the next person in line will be given their opportunity to speak.

Appointed Officials	City Staff Members
Lori Gentile, Chair Chuck Maffia, Vice Chair David Hodgins, Commissioner Steven Horlock, Commissioner Shawn Mosley, Commissioner	Taylor Bateman, Community Development Director Sarah Wickle, Senior Planner Lauren Lambert, Deputy City Clerk Liz Golden, Contract Planner

Notice regarding Planning Commission Meetings:

The Planning Commission meets regularly on the 2nd Thursday of each month (unless otherwise noticed) at 6pm in the City Hall Council Chambers located at 1 Civic Center Drive, Scotts Valley, CA 95066.

Agenda and Agenda Packet Materials:

The Planning Commission agenda and the complete agenda packet are available for review by 5pm the Friday before the Thursday meeting on the Internet at the City's website: www.scottsvally.org/AgendaCenter. If you have questions about a specific project, please contact the project planner listed on that agenda item below.

CALL TO ORDER

(The Planning Commission Chair calls the meeting to order.)

ROLL CALL

(Planning Department staff conduct roll call of the Planning Commission.)

PUBLIC COMMENT TIME

This is the opportunity for individuals to make and/or submit written or oral comments to the Commission on any items within the purview of the Commission, which are NOT part of the Agenda. No action on the item may be taken, but the Commission may request the matter be placed on a future agenda.

ALTERATIONS TO CONSENT AGENDA

(The Commission can remove or add items to the Consent Agenda.)

CONSENT AGENDA

(The Consent Agenda is comprised of items which appear to be non-controversial. Persons wishing to speak on any items may do so raising their hand to be recognized by the Chair. These items will be acted upon in one motion unless they are removed from the consent agenda for discussion by the Commission.)

Approve the Action Meeting Minutes from the following meetings:

1. January 19, 2023

ALTERATIONS TO PUBLIC HEARING AGENDA

(Commission can remove or add items to the Regular Agenda.)

PUBLIC HEARING AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

1. **Proposed Project:** Renewal for Existing Cellular Facility
Location: 2980 El Rancho Road / APN 024-222-08
Planning Permit Application: Use Permit U22-006
Applicant: Crown Castle/ Global Signal Acquisitions II LLC
Property Owner: SVMC Properties, LLC

Project Description: Consideration of renewal to a Use Permit application for the continued operation of a wireless facility at the above location. The 58-foot cellular monopole located in a Commercial Professional Zone.

Staff Planner: Liz Golden, Contract Planner lgolden@interwestgrp.com

2. Proposed Project: Establishment of a Wine Bar and Cellar

Location: 222 Mount Hermon Road, Suite I / APN 022-601-18

Planning Permit Application: Use Permit U22-008

Applicant: Mark Bright

Property Owner: Ow Commercial

Project Description: Consideration of a Use permit to allow a 1,977 ± square-foot, wine bar and cellar in an existing building located in the Commercial Shopping Center zone.

Staff Planner: Sarah Wikle, Senior Planner, swikle@scottsvalley.gov

ALTERATIONS TO REGULAR AGENDA

(Commission can remove or add items to the Regular Agenda.)

REGULAR AGENDA

(Persons wishing to speak on any item may do so by raising their hand to be recognized by the Chair.)

DISCUSSION ITEMS AND FUTURE AGENDA ITEMS (The Planning Commission or Community Development Director may request to schedule items on future agendas.)

WRITTEN COMMUNICATIONS – FOR INFORMATION ONLY

DIRECTOR UPDATES

(The Community Development Director may provide any department or city updates that are available.)

ADJOURNMENT

(Adjournment shall be no later than 11pm unless extended by a four-fifths vote of all Planning Commission members or a unanimous vote of the members present per City Municipal Code Section 2.21.010.)

The City of Scotts Valley does not discriminate against persons with disabilities. The City Council Chambers is an accessible facility. If you wish to attend a Planning Commission meeting and require assistance such as sign language, a translator, or other special assistance or devices in order to attend and participate at the meeting, please call the Community Development Department at 831-440-5630 five to seven days in advance of the meeting to make arrangements for assistance. If you require the agenda of a Planning Commission meeting be available in an alternative format consistent with a specific disability, please call the Community Development Department. The California State Relay Service (TTY/VCO/HCO to Voice: English 1-800-735-2929, Spanish 1-800-855-3000; or, Voice to TTY/VCO/HCO: English 1-800-735-2922, Spanish 1-800-855-3000), provides Telecommunications Devices for the Deaf and Disabled and will provide a link between the TDD caller and users of telephone equipment.



Minutes

Scotts Valley Planning Commission In-person and Remote Access

Date: January 19, 2023

Time: 6:00 PM

CITY OF SCOTTS VALLEY 1 Civic Center Drive Scotts Valley, CA 95066 831-440-5630	MEETING LOCATION City Council Chambers 1 Civic Center Drive Scotts Valley, CA 95066 and Zoom Video Conference	POSTING: The agenda was posted on 1/13/2023, at City Hall, SV Senior Center, Public Works and on the Internet at www.scottsvally.org .
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Appointed Officials	City Staff Members
Lori Gentile, Chair Chuck Maffia, Vice Chair David Hodgkin, Commissioner Steven Horlock, Commissioner Shawn Mosley, Commissioner	Taylor Bateman, Community Development Director Liz Golden, Assistant Planner Cathie Simonovich, City Clerk Lauren Lambert, Deputy City Clerk

CALL TO ORDER: 6:01 PM

ROLL CALL: Present: Gentile, Maffia, Hodgkin, Horlock, and Mosley

PUBLIC COMMENT: No one came forward

ALTERATIONS TO CONSENT AGENDA: None

CONSENT AGENDA:

1. Approve the Action Meeting Minutes from the following meeting:
 - a. November 17, 2022

M/S: Maffia/Horlock

To approve the Consent Agenda.

Carried: 5-0

Ayes: Gentile, Hodgkin, Horlock, Maffia, Mosley

Noes: None

Absent: None

ALTERATIONS TO PUBLIC HEARING AGENDA: None

PUBLIC HEARING AGENDA:

1. **Proposed Project:** Renewal for Existing Cellular Facility
Location: 2980 El Rancho Drive / APN 024-222-08
Planning Permit Application: Use Permit U22-006
Applicant: Crown Castle
Property Owner: SVMC Properties, LLC
Project Description: Consideration of renewal to a Use Permit application for the continued operation of a wireless facility at the above location. The 58-foot cellular monopole located in a Commercial Professional zone.
Staff Planner: Liz Golden, Contract Planner, Lgolden@interwestgrp.com

CDD Bateman reported that the applicant would like to continue this public hearing to the February 16, 2023 Planning Commission meeting.

Chair Gentile opened the public hearing at 6:04 PM.

M/S: Maffia/Horlock

To continue this item to the February 16, 2023 Planning Commission meeting

Carried: 5-0

Ayes: Gentile, Hodgin, Horlock, Maffia, and Mosley

Noes: None

Absent: None

Chair Gentile closed the public hearing at 6:05 PM.

2. Proposed Project: Jersey Mike's Subs

Location: 235A Mount Hermon Road / APN 021-221-05

Planning Permit Application: Use Permit U22-009

Applicant: Brett Johanson

Property Owner: SLV Select, LP

Project Description: Consideration of a Use Permit to allow 1,124 square foot, Jersey Mike's Subs with seating for on-site consumption, in an existing building in the Scotts Village shopping center located in the Shopping Center Commercial zone.

Staff Planner: Olivia Beers, Assistant Planner, obeers@scottsvally.gov

Contract Planner Liz Golden, presenting for Assistant Planner Beers, shared a PowerPoint presentation and responded to questions from the Commissioners.

Chair Gentile opened the public hearing at 6:08 PM.

Public Comment: Janice DeYoung with MPA Architects spoke to address outdoor seating, indoor seating, the use permit, and the parking analysis. Brett Johanson, one of the owners, noted that he is available for questions if needed; and he responded that they are hoping for an estimated Spring opening and a grand opening event that will include fundraising partnerships with the local schools.

M/S: Hodgin/Mosley

To approve Resolution No. 1780 for APN 021-221-05 for the use permit for Jersey Mike's Subs at 235A Mount Hermon Road.

Carried: 5-0

Ayes: Gentile, Hodgin, Horlock, Maffia, and Mosley

Noes: None

Absent: None

Chair Gentile closed the public hearing at 6:11 PM.

DISCUSSION ITEMS AND FUTURE AGENDA ITEMS: None

WRITTEN COMMUNICATIONS – FOR INFORMATION ONLY: None

DIRECTOR UPDATES: None

ADJOURNMENT: 6:12 PM

3/9/23 PC Meeting
Cellar Use Permit
2980 El Rancho Road

Agenda Item #1
Use Permit U22-006
APN 024-222-08

City of Scotts Valley
PLANNING COMMISSION
STAFF REPORT

Applicant:	Crown Castle / Global Signal Acquisitions II LLC
Property Owner:	SVMC Properties LLC
Application:	Use Permit No. U22-006
Location:	2980 El Rancho Road // APN 024-222-08
General Plan/Zoning:	Commercial Professional (C-P)
Environmental Status:	Categorically Exempt from CEQA (15303)
Request:	Consideration of a Use Permit renewal for an existing cellular facility.
Staff Planner:	Liz Golden, Contract Planner

STAFF RECOMMENDATION

It is recommended that the Planning Commission approve the Use Permit application to renew and combine existing Use Permits at the above site.

PROJECT DESCRIPTION

The project site consists of an existing 58 foot tall tree type cellular monopole located at 2980 El Rancho Drive (Attachment 1 - Location Map). The tree pole is designed to simulate a Douglas fir tree (also known as a “monopine”). AT&T currently has six antennas at the top of the monopole and sprint has three antennas midway up the monopole. No proposed changes to the cellular facility are proposed at this time.

The applicant is seeking to renew and combine Use Permits which were originally

3/9/23 PC Meeting
Cellar Use Permit
2980 El Rancho Road

Agenda Item #1
Use Permit U22-006
APN 024-222-08

approved for ten years in 1999 by the Planning Commission and renewed in 2012 for an additional ten years.

The approving resolution for the current Use Permit grants an additional 10-year period and combines the two use permits.

PUBLIC NOTICE

On January 19, 2023, public hearing notices were posted at City Hall and were mailed to surrounding property owners located within 300 feet of the subject property, pursuant to State law. One comment was received via email (Attachment 4).

The comment addressed several items, one of which is the visual appearance of the monopole and aged look in its current condition. Over time these types of cellular facilities are subject to deterioration from sun and wind. The Planning Department is proposing a condition which would require the cellular facility to be restored to original approved condition within the next five years. Restoration could be required sooner, if the Planning Commission determines that it is warranted.

ATTACHMENTS

1. Resolution No. _____ to Approve U22-006
2. Location Map
3. Plans Showing Existing Conditions – Dated 09/15/22
4. Public Comment – Received 01/09/2023

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SCOTTS VALLEY APPROVING CONDITIONAL USE PERMIT NO. U22-006 TO ALLOW FOR CONTINUED USE OF AN EXISTING CELLULAR FACILITY LOCATED AT 2980 EL RANCHO DRIVE // APN 024-222-08.

WHEREAS, the Planning Department of the City of Scotts Valley has received an application for an extension of Use Permits U99-003 and U02-020.2 and to combine Use Permits No. U99-003 and U02-020.2 to allow for continued use of an existing cellular facility located at 2980 El Rancho Drive // APN 024-222-08; and,

WHEREAS, the project is determined to be categorically exempt from CEQA, Class 3 (Section 15303); and,

WHEREAS, Use Permit No. U99-003 was reviewed and approved by the Planning Commission on June 24, 1999; and,

WHEREAS, Use Permit No. U02-020.2 was reviewed and approved by the Planning Commission on May 15, 2014; and,

WHEREAS, the project was reviewed by the Planning Commission at a duly noticed public hearing on February 24, 2023.

NOW THEREFORE, the Planning Commission of the City of Scotts Valley hereby resolves as follows:

SECTION 1: The environmental determination represents the independent judgement of the City.

SECTION 2: The categorical exemption is hereby approved.

SECTION 3: Use Permit U99-003 & U02-020.2 are amended by this Use Permit No. U22-006.

SECTION 3: The Planning Commission of the City of Scotts Valley does hereby specifically make the following findings, as further clarified in the Planning Commission staff reports dated March 9, 2023:

1. *The proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the district in which the site is located.* The location of the wireless facility is in a nonresidential district as required by Section 17.46.030 of the Scotts Valley Municipal Code.
2. The establishment, maintenance, or operation of the use or wireless facility will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city. The operation of the wireless facility will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city. The site is located in an area of the city of limited residential and commercial use. Visual impacts are mitigated by the use of a tree type cellular monopole, the remoteness of the site, surrounding trees, and required landscaping. Operation of the facility shall comply with all Federal regulations regarding wireless facilities.
3. *The wireless facility is in accordance with the objectives of the zoning ordinance and the purposes of the zoning district in which the site is located.* The tree type cellular monopole blends into the natural environment. The location is more suitable than other potential locations as the site currently exists and co-location of wireless facilities is encouraged by the City.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff report, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve extending and combining U99-003 and U02-020.2 Located at El Rancho Drive // APN 024-222-08, subject to the conditions set forth in the attached Exhibit A, which are incorporated herein by this reference.

SECTION 5: The Use Permit for the operation of the Cellular facility is extended for an additional 10 years.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on the 9 day of March, 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Lori Gentile, Chair

Taylor Bateman, Community Development Director

2980 El Rancho Drive
APN 024-222-08
U22-006

EXHIBIT A
CONDITIONS OF APPROVAL

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. After Planning Commission approval, the property owner shall sign the Conditions of approval (Exhibit A) agreeing to the Conditions of Approval within 30 days.

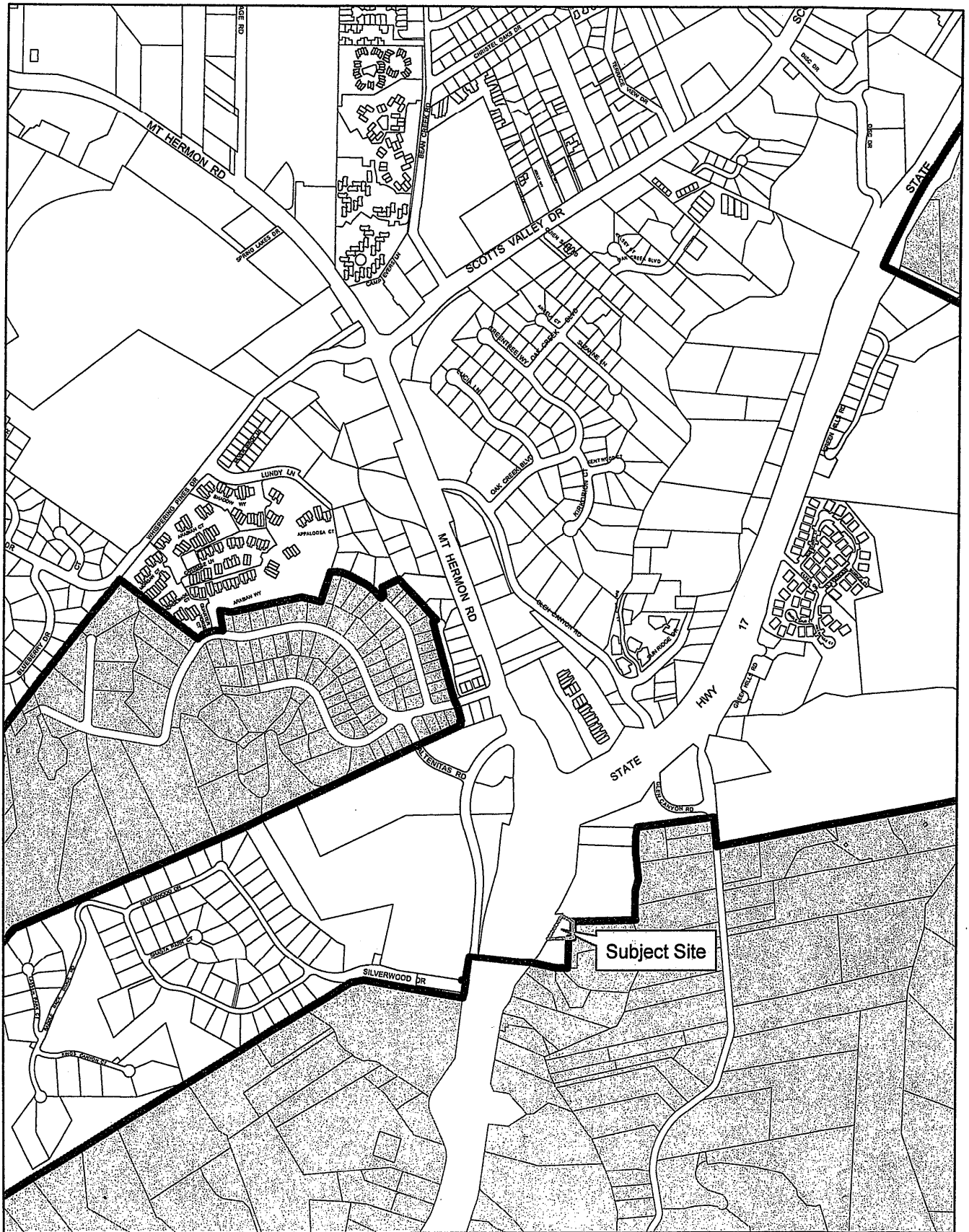
PLANNING DEPARTMENT

3. Use Permit No. U99-003 and U02-020.2 are combined and all applicable conditions of approval associated with the original Use Permits shall remain in effect.
4. Use Permit No. U22-006 shall expire within ten years of the date of this resolution, unless extended by the Planning Commission.
5. The visual appearance of the cellular facility shall be restored to the original approved condition within five years of the date of this resolution. The restoration and design shall be reviewed and approved by the Community Development Director prior to commencement of work and may require Planning Commission review at the discretion of the Community Development Director.

Name & Signature of Property Owner

Date

Location Map



2980 El Rancho Drive



SITE NAME:

SITE TYPE:

TOWER HEIGHT:

SCOTTS VLY MED CNTR/CAMP EVERS
MONOPINE
55'-0"

BUSINESS UNIT #:
SITE ADDRESS:
COUNTY:
JURISDICTION:

877226
2980 EL RANCHO DR.
SCOTTS VALLEY, CA 95066
SANTA CRUZ
CITY OF SCOTTS
VALLEY

SITE INFORMATION	
CROWN CASTLE USA INC. SITE NAME:	SCOTTS VLY MED CNTR/CAMP EVERS
SITE ADDRESS:	2980 EL RANCHO DR. SCOTTS VALLEY, CA 95066
COUNTY:	SANTA CRUZ
MAP/PARCEL #:	024-222-08
AREA OF CONSTRUCTION:	EXISTING
LATTITUDE:	37.033967
LONGITUDE:	-122.020839
LAT/LONG TYPE:	NAD83
GROUND ELEVATION:	650'-4"
CURRENT ZONING:	C-P
JURISDICTION:	CITY OF SCOTTS VALLEY
OCCUPANCY CLASSIFICATION:	U
TYPE OF CONSTRUCTION:	IIB
A.D.A. COMPLIANCE:	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER:	SVMC PROPERTIES LLC 16 GRANDVIEW AVE FELTON, CA 95018
TOWER OWNER/APPLICANT:	CROWN CASTLE 4301 HACIENDA DRIVE, SUITE 410 PLEASANTON, CA 94588
ELECTRIC PROVIDER:	PACIFIC GAS & ELECTRIC 800-743-5000
TELCO PROVIDER:	AT&T MOBILITY 611

PROJECT TEAM	
A&E FIRM:	TELCYTE INFRASTRUCTURE SERVICES 3450 N HIGLEY RD, SUITE 102 MESA, AZ 85215 CWOLFE@TELCYTE.COM
CROWN CASTLE USA INC. DISTRICT CONTACTS:	4301 HACIENDA DRIVE, SUITE 410 PLEASANTON, CA 94588 CAMPBELL A&Z, LLC - ENTITLEMENT CONSULTANT MICHAEL J CAMPBELL 602-616-8396 CAMPBELLAZ1@EARTHLINK.NET

DRAWING INDEX	
SHEET #	SHEET DESCRIPTION
T-1	TITLE SHEET
C-1.1	OVERALL SITE PLAN
C-1.2	SITE PLAN
C-2	EXISTING ELEVATION
C-3	EXISTING ANTENNA PLAN & SCHEDULE
C-4	EXISTING ANTENNA PLAN & SCHEDULE
C-5	EXISTING ANTENNA PLAN & SCHEDULE
ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 22X34. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.	

PROJECT DESCRIPTION
CROWN CASTLE PROPOSES TO RENEW THE USE PERMIT FOR AN EXISTING WIRELESS COMMUNICATION FACILITY.
• NO CHANGES ARE PROPOSED TO THE PROJECT.
NOTE: PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN NOC AT (800) 788-7011 & CROWN CONSTRUCTION MANAGER

LOCATION MAP

NO SCALE

FROM SAN FRANCISCO INTERNATIONAL AIRPORT. HEAD NORTHWEST TOWARD US-101 N (0.2 MI). TAKE I-280 S AND CA-85 S TO CA-17 S IN LOS GATOS. TAKE EXIT 11A FROM CA-85 S (42.9 MI). MERGE ONTO US-101 N 1.3 MI. USE THE RIGHT 2 LANES TO TAKE EXIT 423B FOR I-380 W TOWARD SAN BRUNO/INTERSTATE. 280 0.9 MI. CONTINUE ONTO I-380 W 1.0 MI. USE THE LEFT 2 LANES TO TAKE EXIT 5B TO MERGE ONTO I-280 S TOWARD SAN JOSE 31.5 MI. TAKE EXIT 12B TO MERGE ONTO CA-85 S TOWARD GILROY 7.8 MI. USE THE RIGHT LANE TO TAKE EXIT 11A TO MERGE ONTO CA-17 S TOWARD SANTA CRUZ 0.5 MI. FOLLOW CA-17 S TO EL RANCHO DR IN SCOTTS VALLEY (18.7 MI). MERGE ONTO CA-17 S 18.2 MI. TAKE EXIT 3 FOR MOUNT HERMON ROAD 0.2 MI. TURN LEFT ONTO THE RAMP 161 FT. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR CA-17 N/SAN JOSE 0.2 MI. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR EL RANCHO DR 125 FT. TURN LEFT TOWARD EL RANCHO DR 112 FT. TURN LEFT ONTO EL RANCHO DR

APPLICABLE CODES/REFERENCE DOCUMENTS	
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:	
CODE TYPE	CODE
BUILDING	2019 CBC (2018 IBC W/AMMENDMENTS)
MECHANICAL	2019 CMC (2018 IMC W/AMMENDMENTS)
ELECTRICAL	2019 CEC (2017 NEC W/AMMENDMENTS)
FIRE	2019 CFC (2018 IFC W/AMMENDMENTS)
CALL CALIFORNIA ONE CALL (800) 227-2600 CALL 3 WORKING DAYS BEFORE YOU DIG!	

JURISDICTIONAL APPROVAL:

1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109

3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

BU #: 877226
SCOTTS VLY MED CNTR/CAMP EVERS
2980 EL RANCHO DR.
SCOTTS VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET NUMBER:
T-1

REVISION:
0

SITE PLAN DISCLAIMER:
PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM GOOGLE MAPS. CROWN CASTLE USA INC. HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS AS TO THE ACCURACY OF INFORMATION DEPICTED ON THIS SHEET.

JURISDICTIONAL APPROVAL:



CROWN CASTLE
1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109



TELCYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

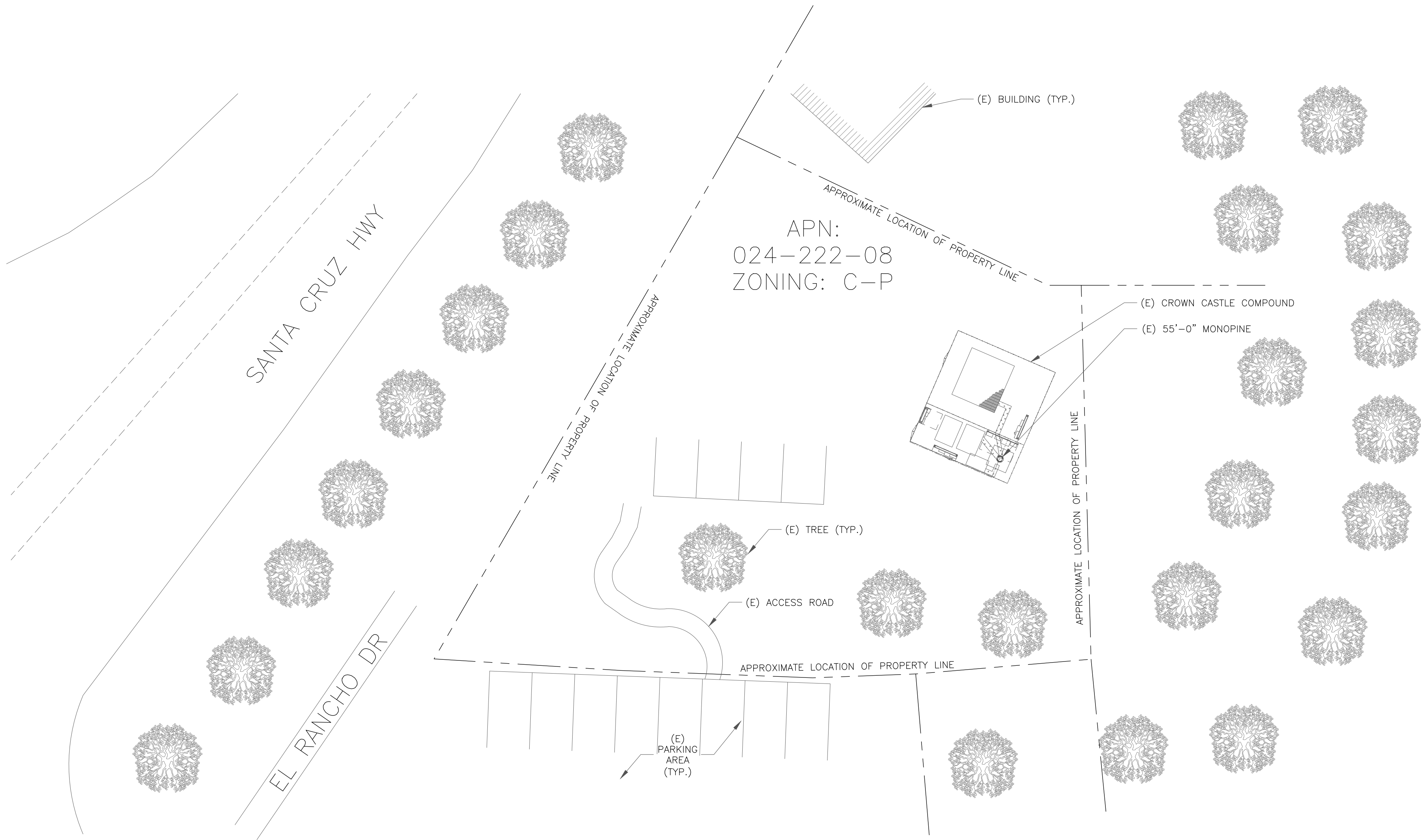
BU #: 877226
SCOTT'S VLY MED CNTR/CAMP EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

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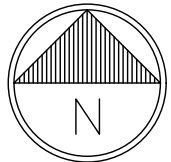
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C-1.1

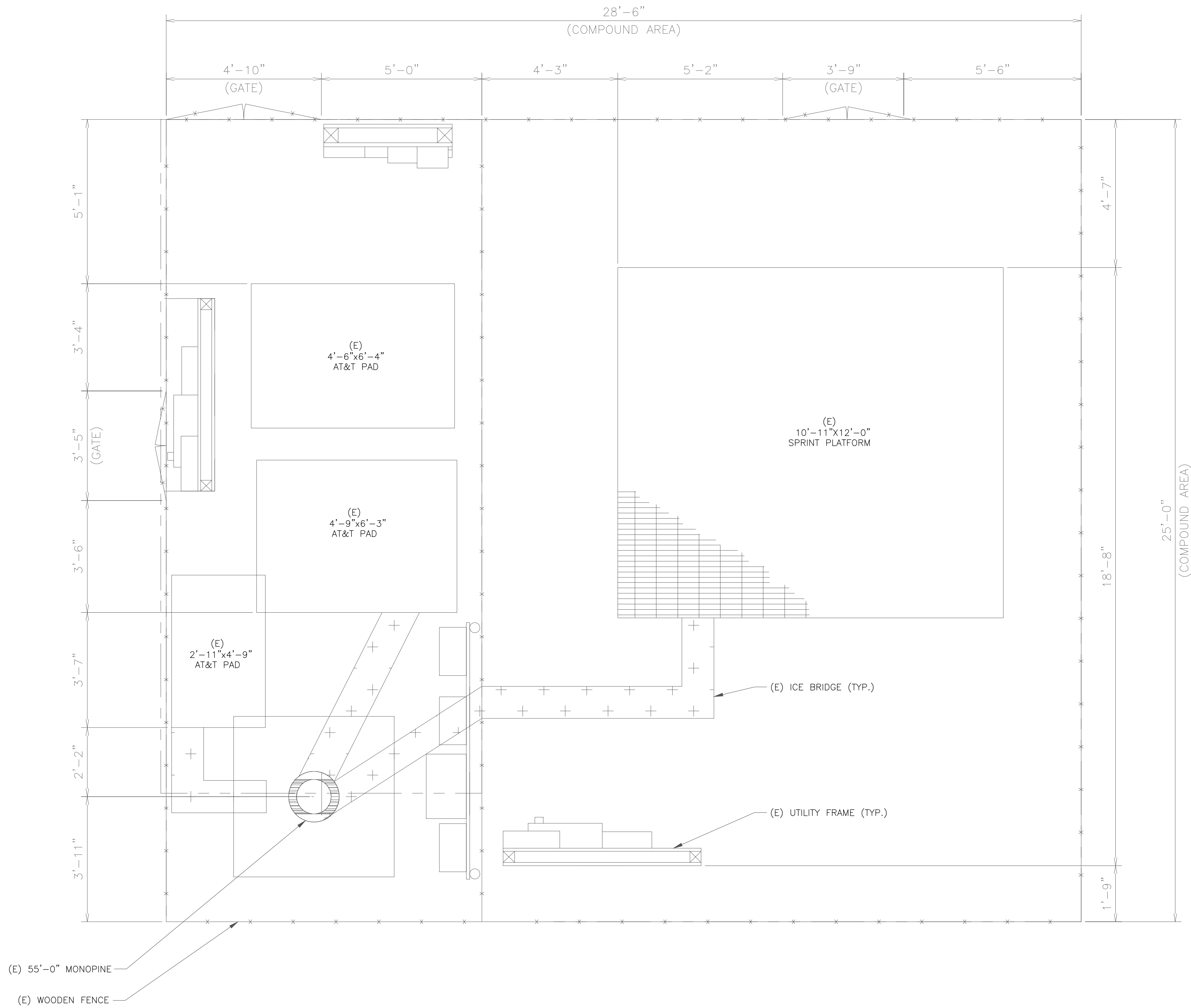
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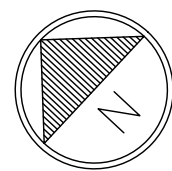
1 OVERALL SITE PLAN

SCALE: 1/16"=1'-0" (FULL SIZE)
1/32"=1'-0" (11x17)





1 SITE PLAN
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)



JURISDICTIONAL APPROVAL:

CROWN CASTLE
1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109

TELCYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

BU #: 877226
SCOTT'S VLY MED CNTR/CAMP EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

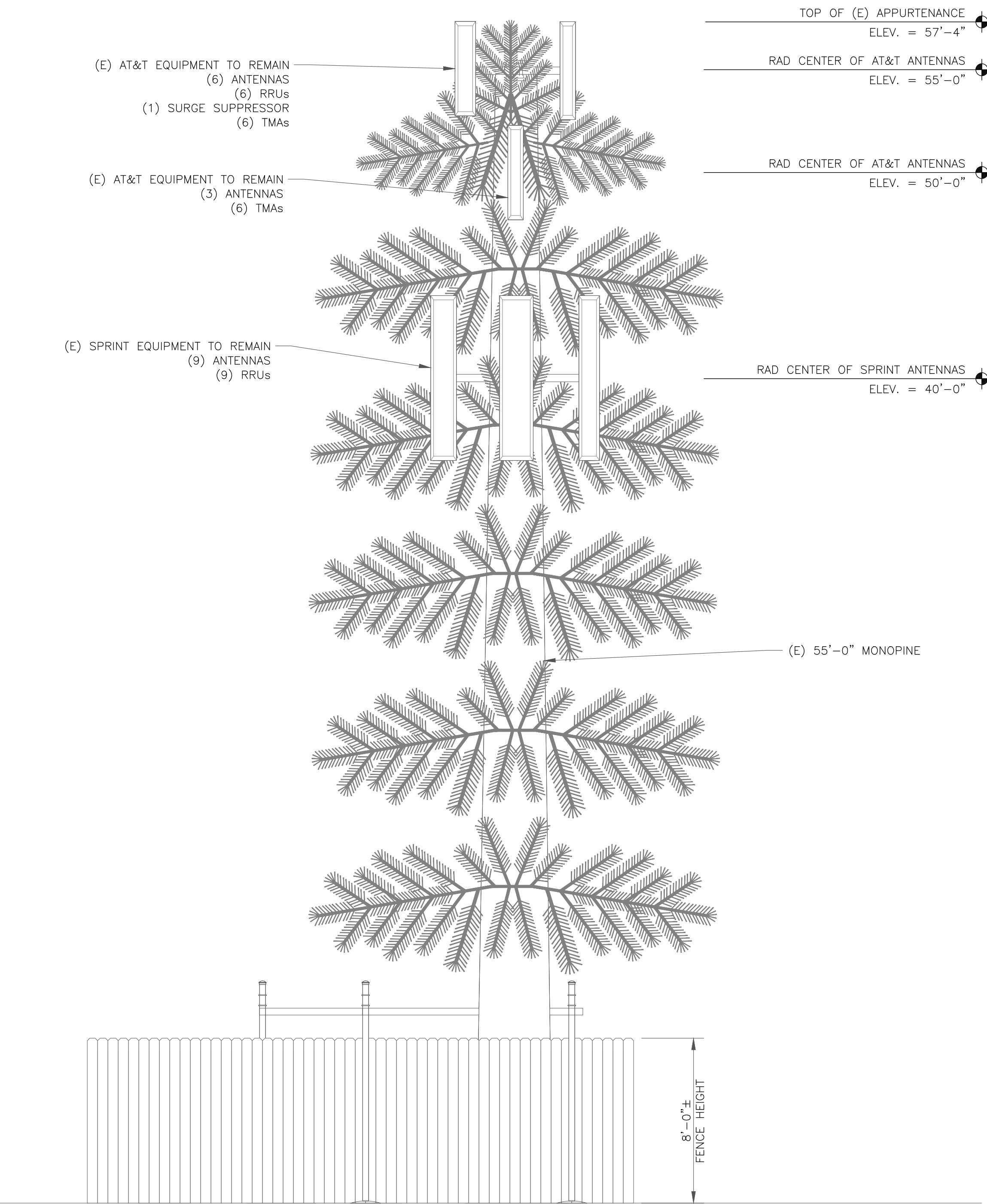
IT IS A VIOLATION OF LAW FOR ANY PERSON,
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OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

SHEET NUMBER:

C-1.2

REVISION:

0



1 EXISTING SOUTHWEST ELEVATION
SCALE: 1/4"=1'-0" (FULL SIZE)
1/8"=1'-0" (11x17)

JURISDICTIONAL APPROVAL:

CROWN CASTLE
1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109

TELCYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

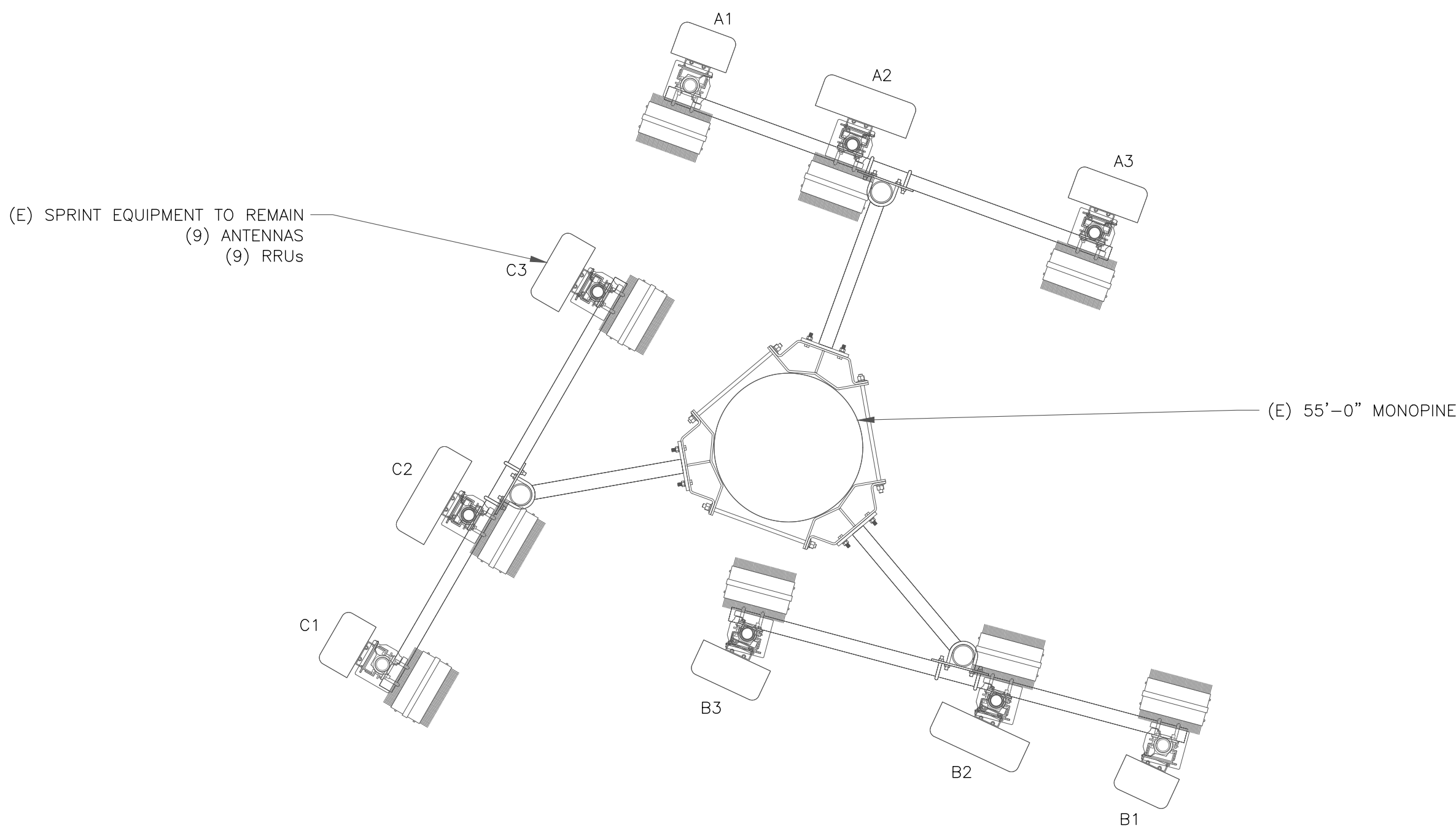
BU #: 877226
SCOTT'S VLY MED CNTR/CAMP EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

IT IS A VIOLATION OF LAW FOR ANY PERSON,
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OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

SHEET NUMBER: **C-2**
REVISION: **0**

EQUIPMENT SCHEDULE															
ALPHA															
POSITION	ANTENNA				RADIO			TMA		SURGE PROTECTION		CABLES			
	CARRIER	STATUS/MANUFACTURER	MODEL	AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE
A1	SPRINT	(E) RFS/CELWAVE APXVSP18-C-A20	20°	40'-0"	1	(E) RADIO 4460 B2/B25 B66	TOWER	-	-	-	-	1	HYBRID	1-5/8"	60'-0"
A2	SPRINT	(E) RFS/CELWAVE APXVA4L24_43-U-NA20	20°	40'-0"	1	(E) RRH-P4 PH1	TOWER	-	-	-	-	-	-	-	-
A3	SPRINT	(E) ERICSSON AIR 6419 B41	20°	40'-0"	1	(E) RADIO 4480	TOWER	-	-	-	-	-	-	-	-
BETA															
B1	SPRINT	(E) KMW ET-X-TS-70-16-62-18-IR-RD	205°	40'-0"	1	(E) RADIO 4460 B2/B25 B66	TOWER	-	-	-	-	1	HYBRID	1-5/8"	60'-0"
B2	SPRINT	(E) RFS/CELWAVE APXVA4L24_43-U-NA20	205°	40'-0"	1	(E) RRH-P4 PH1	TOWER	-	-	-	-	-	-	-	-
B3	SPRINT	(E) ERICSSON AIR 6419 B41	205°	40'-0"	1	(E) RADIO 4480	TOWER	-	-	-	-	-	-	-	-
GAMMA															
C1	SPRINT	(E) KMW ET-X-TS-70-16-62-18-IR-RD	300°	40'-0"	1	(E) RADIO 4460 B2/B25 B66	TOWER	-	-	-	-	1	HYBRID	1-5/8"	60'-0"
C2	SPRINT	(E) RFS/CELWAVE APXVA4L24_43-U-NA20	300°		1	(E) RRH-P4 PH1	TOWER	-	-	-	-	-	-	-	-
C3	SPRINT	(E) ERICSSON AIR 6419 B41	300°	40'-0"	1	(E) RADIO 4480	TOWER	-	-	-	-	-	-	-	-

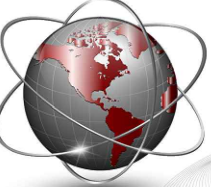


1 EXISTING SPRINT ANTENNA PLAN @40'-0"
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)

JURISDICTIONAL APPROVAL:



1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109



TEL
CYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

BU #: 877226
SCOTT'S VLY MED CNTR/CAMP
EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

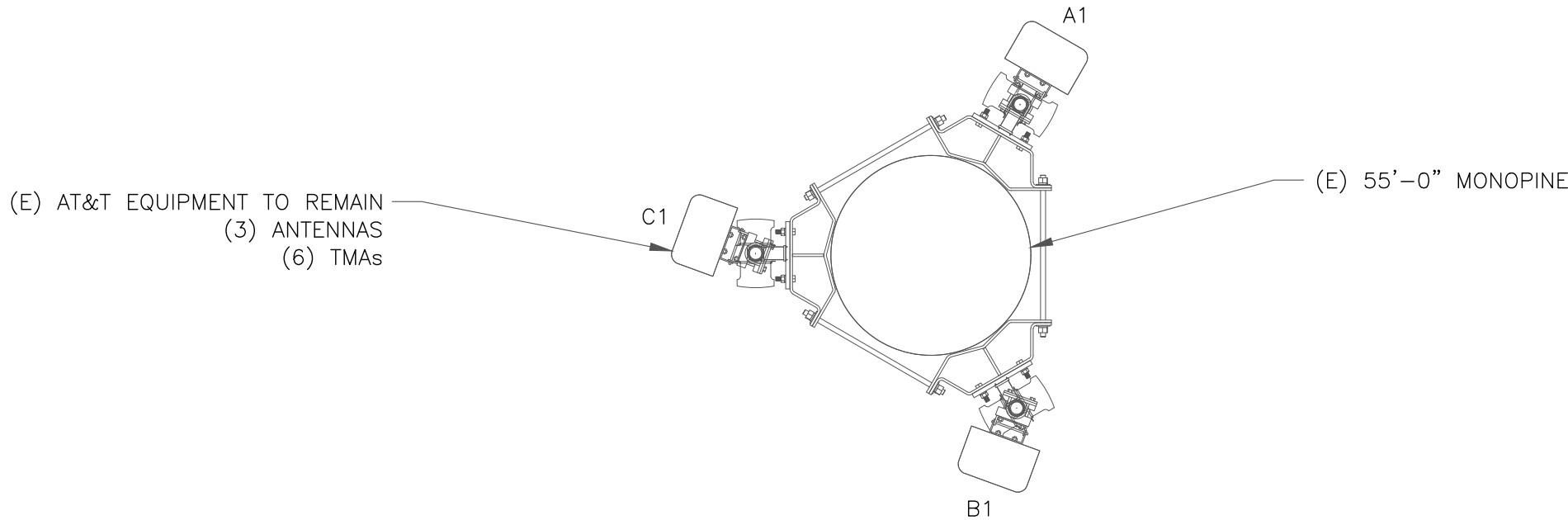
SHEET NUMBER:

C-3

REVISION:

0

EQUIPMENT SCHEDULE																
ALPHA																
POSITION	ANTENNA				RADIO			TMA		SURGE PROTECTION		CABLES				
	CARRIER	STATUS/MANUFACTURER	MODEL	AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE	LENGTH
A1	AT&T	(E) ALLCON	7250.03	30°	50'—0"	—	—	—	2	(E) KRY 112 72/2	—	—	2	COAX	7/8"	85'—0"
BETA																
B1	AT&T	(E) ALLCON	7250.03	200°	50'—0"	—	—	—	2	(E) KRY 112 72/2	—	—	2	COAX	7/8"	85'—0"
GAMMA																
C1	AT&T	(E) ALLCON	7250.03	290°	50'—0"	—	—	—	2	(E) KRY 112 72/2	—	—	2	COAX	7/8"	85'—0"



1 EXISTING AT&T ANTENNA PLAN @50'-0"
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)

JURISDICTIONAL APPROVAL:



1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109



TEL CYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

BU #: 877226
SCOTT'S VLY MED CNTR/CAMP
EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

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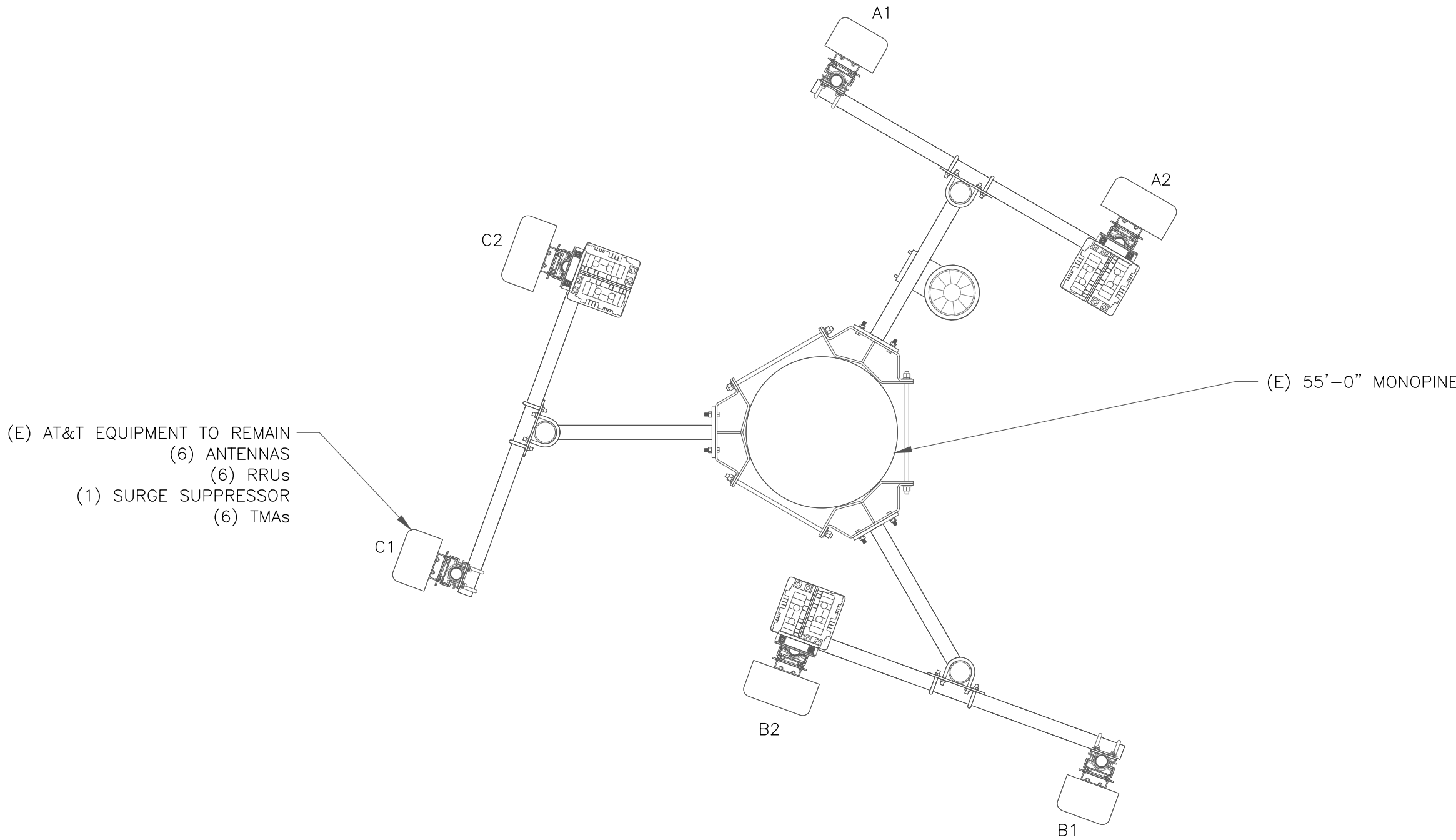
SHEET NUMBER:

C-4

REVISION:

0

EQUIPMENT SCHEDULE																
ALPHA																
POSITION	ANTENNA				RADIO			TMA		SURGE PROTECTION		CABLES				
	CARRIER	STATUS/MANUFACTURER	MODEL	AZIMUTH	RAD CENTER	QTY.	STATUS/MODEL	LOCATION	QTY.	STATUS	QTY.	STATUS/MODEL	QTY.	STATUS/TYPE	SIZE	LENGTH
A1	AT&T	(E) KATHREIN	742-264	30°	55'-0"	-	-	-	-	-	-	-	4	COAX	7/8"	85'-0"
A2	AT&T	(E) KATHREIN	80010864	30°	55'-0"	2	(E) RRUL-11	TOWER	2	(E) 860 10025	1	(E) RAYCAP DC6-48-60-18-8F	1 2	COAX DC TRUNK	1/4" 3/4"	85'-0"
BETA																
B1	AT&T	(E) KATHREIN	742-264	200°	55'-0"	-	-	-	-	-	-	-	4	COAX	7/8"	85'-0"
B2	AT&T	(E) KATHREIN	80010864	200°	55'-0"	2	(E) RRUL-11	TOWER	2	(E) 860 10025	-	-	-	-	-	85'-0"
GAMMA																
C1	AT&T	(E) KATHREIN	742-264	290°	55'-0"	-	-	-	-	-	-	-	4	COAX	7/8"	85'-0"
C2	AT&T	(E) KATHREIN	80010864	290°	55'-0"	2	(E) RRUL-11	TOWER	2	(E) 860 10025	-	-	1	RET	5/16"	85'-0"



1 EXISTING AT&T ANTENNA PLAN @55'-0"
SCALE: 1/2"=1'-0" (FULL SIZE)
1/4"=1'-0" (11x17)

JURISDICTIONAL APPROVAL:

CROWN CASTLE
1505 WESTLAKE AVENUE NORTH, SUITE 800
SEATTLE, WA 98109

TELCYTE
INFRASTRUCTURE SERVICES
3450 N HIGLEY RD - SUITE 102,
MESA, AZ 85215

BU #: 877226
SCOTT'S VLY MED CNTR/CAMP
EVERS
2980 EL RANCHO DR.
SCOTT'S VALLEY, CA 95066
EXISTING 55'-0" MONOPINE

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
0	09/15/22	MM	CUP RENEWAL	JD

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TO ALTER THIS DOCUMENT.

SHEET NUMBER:

C-5

REVISION:

0

Liz Golden

From: Nia Burnham <nialand84@gmail.com>
Sent: Monday, January 9, 2023 12:33 PM
To: planningdepartment@scottsvally.gov
Cc: Liz Golden
Subject: Re: Renewal Permit Application U22-006 for Existing Cellular Facility monopole

Follow Up Flag: Follow up
Flag Status: Flagged

Greetings Scotts Valley Planning Dept,

I am Nia Burnham, property owner and resident at [2996 El Rancho Drive](#) in Scotts Valley. I am writing to express my concerns regarding the Renewal Permit application submitted by Crown Castle for the cellular monopole tower located merely feet from our home at [2980 El Rancho Drive](#).

Firstly, I would like to express that I am **strongly opposed** to renewing the permit to operate this cellular tower. Not only is this structure extremely unsightly and detrimental to surrounding residential property values, but the potentially dangerous health risks involved with such high powered microwave frequency emissions so close to our home raises major concerns for the well being of our family, including our 6 year old daughter. This tower stands literally 100 feet away from our home, in direct line of sight and exposure from our home windows. The surrounding beauty of our mountainous trees and forested landscape are deeply and adversely tainted by this.

I understand that the current location of this structural eye sore is zoned as commercial, however the residential surrounding areas undoubtedly suffer aesthetically, and the potential risks to our health is reason enough to decommission the use of this cellular tower indefinitely.

Thank you very much for your time and consideration in hearing our concerns.

Sincerely,

Nia Burnham

3/9/23 PC Meeting
Saison Wine Bar and Cellar Use Permit
222 Mount Hermon Road, Suite I

Agenda Item #2
Use Permit U22-008
APN 022-601-18

City of Scotts Valley
PLANNING COMMISSION
STAFF REPORT

Applicant: Mark Bright

Property Owner: Ow Commercial

Applications: Use Permit No. U22-008

Location: 222 Mount Hermon Road, Suite I / APN: 022-601-18

General Plan/Zoning: C-SC (Commercial Shopping Center)

Environmental Status: CEQA Categorical Exemption: Section 15301, Class 1 – Existing Facilities

Request: Consideration of a Use Permit to allow a 1,977± square-foot, wine bar and cellar in an existing building located in the Commercial Shopping Center zone.

Staff Planner: Sarah Wikle, Senior Planner

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve Use Permit U22-008 by adopting the attached resolution, subject to the conditions in Exhibit A.

PROJECT DESCRIPTION

The subject property is in the “Kings Village” shopping center which is developed with six multi-tenant commercial buildings, including restaurants, grocery stores, and various retail stores. See Attachment 2 for a location map.

The applicant is requesting to operate a wine tasting room and cellar in a 1,977± square-foot tenant space adjacent to Erik’s Deli and Ideal Hair. As noted in their business plan, the applicant plans to provide educational wine events to patrons at their facility. Food would be made available through a partnership with Erik’s Deli to provide cheese and meat plates to pair with their wines. Patrons may also participate in a wine club program, with their monthly allotment of wine stored in the on-site wine cellar.

3/9/23 PC Meeting
Saison Wine Bar and Cellar Use Permit
222 Mount Hermon Road, Suite I

Agenda Item #2
Use Permit U22-008
APN 022-601-18

See Attachment 3 for additional information on Saison Cellar's business plan and Attachment 4 for the plan set.

The proposed hours of operation are Monday through Sunday, 12:00pm to 9:00pm. These hours of operation are consistent with the hours of operation for other business in the Kings Village Shopping Center.

DISCUSSION

1. Use Permit

The applicant's proposal to operate a wine tasting room falls under the category of a restaurant as defined in the [Scotts Valley Municipal Code \(SVMC\) 17.04.210](#) as "any eating or drinking establishment having seating capacity which sells or offers for sale to the public any food or drink for immediate human consumption on the premises...". Restaurants and bars are a conditional use in the C-SC zone which require issuance of a Use Permit by the Planning Commission. [SVMC §17.02.030](#). The purpose of the use permit process is to evaluate whether the proposed use is appropriate for the subject site, surrounding uses, and how any adverse impacts may be avoided or minimized. The project involves a tenant improvement to an existing commercial tenant space and establishment of outdoor seating for a wine bar and cellar. The surrounding businesses within the shopping center are various commercial uses with similar hours of operation. The wine bar and cellar does not propose installation of any equipment that would generate excessive noise besides interior speakers for background music and minimal outdoor seating for patrons. The project does not result in any odors nor discharge of any type. Lastly, the project is also consistent with the intent of the CS-C district regulations to provide appropriately located retail and service establishments that meet the various needs of different geographical areas in Scotts Valley. As such, there are no identifiable negative impacts that the proposed wine bar and cellar might cause to adjacent businesses.

2. Parking

The business is in an existing commercial building within the Kings Village Shopping Center, where there are approximately 639 parking spaces on the subject parcel with an additional 200 parking spaces available at the Transit Center via an easement. The required parking for the wine bar and cellar is 18 spaces.

Proposed Use	Square Footage	Parking Formula	Required Parking
Public Area	710	1 space/60 sq. ft.	12.83
Non-Public Area	1,267	1 space/250 sq. ft.	5.07
Total	1,977	n/a	17.9 = 18 spaces

Staff did not conduct a parking analysis for the entire Kings Village Shopping Center as the center is spread out with distinct areas, uses, and parking needs. While parking can be limited during the lunch hour, the parking lot is never completely full. As such, there appears to be adequate parking availability in the shopping center to accommodate the wine bar and cellar.

3. Future Signage

The proposed exterior elevations in the plan set (Sheet A-4, Attachment 3) shows a new sign for Saison Wine Bar and Cellar. A Condition of Approval requires issuance of a building permit for any proposed signage and to comply with the Planned Sign Program for Kings Village Shopping Center.

ATTACHMENTS

Resolution to approve U22-008 (Action Item)

1. Resolution & Conditions of Approval
2. Location Map
3. Business Plan (dated 02/17/23)
4. Plan Set (dated 03/02/23)

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SCOTTS VALLEY APPROVING USE PERMIT NO. U22-008 TO ALLOW A 1,977± SQUARE-FOOT WINE BAR AND CELLAR IN AN EXISTING COMMERCIAL BUILDING LOCATED IN KINGS VILLAGE SHOPPING CENTER IN THE COMMERCIAL SHOPPING CENTER (CS-C) ZONE AT 222 MOUNT HERMON ROAD, SUITE I / APN 022-601-18.

WHEREAS, the Planning Department of the City of Scotts Valley has received the application filed by Mark Bright for a Use Permit to operate a 1,977± square-foot, wine bar and cellar in an existing building located in the Kings Village Shopping Center in the Commercial Shopping Center (CS-C) zone at 222 Mount Hermon Road, Suite I / APN 022-601-18.

WHEREAS, the application was reviewed for completeness and is determined to be a “project” as defined by the California Environmental Quality Act (CEQA); and,

WHEREAS, the project is Categorically Exempt from the California Environmental Quality Act, under Section 15301, Class 1, Existing Facilities; and,

WHEREAS, the project was reviewed by the Planning Commission at regularly scheduled and noticed meeting on Thursday, March 9, 2023.

NOW THEREFORE, the Planning Commission of the City of Scotts Valley hereby resolves as follows:

SECTION 1: The environmental determination represents the independent judgment of the City.

SECTION 2: The categorical exemption is hereby approved.

SECTION 3: The Planning Commission of the City of Scotts Valley does hereby specifically make the following findings as required by Section 17.50 of the Scotts Valley Municipal Code, and as further clarified in the staff report dated March 9, 2023.

- 1. The location of the restaurant is in accordance with the objectives of the zoning ordinance and the purposes of the zoning district in which the site is located.*** The subject property is in the City’s Commercial Shopping Center (C-SC). The purpose of the C-SC zone is to create and maintain areas accommodating city-wide and regional service that may be inappropriate in neighborhood or pedestrian-oriented shopping areas. Additionally, the intent of the CS-C district regulations is to encourage retail service establishments that meet various needs of Scotts Valley residents. The proposed project involves the establishment of a wine bar and cellar within an existing commercial tenant space with minimal outdoor seating. As

conditioned, the proposed project is compatible with existing commercial uses in the Kings Village Shopping Center and on the Mount Hermon commercial corridor.

2. ***The establishment, maintenance or operation of the restaurant will not, under any circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed restaurant or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.*** The project involves a tenant improvement to an existing commercial tenant space and establishment of outdoor seating for a wine bar and cellar. The surrounding businesses within the shopping center are various commercial uses with similar hours of operation. The wine bar and cellar does not propose installation of any equipment that would generate excessive noise besides interior speakers for background music and minimal outdoor seating for patrons. The project does not result in any odors nor discharge of any type. As such, there are no identifiable negative impacts that the proposed wine bar and cellar might cause to adjacent businesses. Project conditions will require compliance with California Building Code, California Fire Code, and the Planned Signed Program for the Kings Village Shopping Center.

SECTION 4: After careful consideration of the application and related materials, plans, maps, facts, exhibits, staff reports, testimony and other evidence submitted in this matter, and incorporated herein by this reference, the Planning Commission of the City of Scotts Valley does hereby approve Use Permit No. U22-008 to allow a wine bar and cellar in the C-SC zone at 222 Mount Hermon Road, Suite I / APN 022-601-18, subject to conditions set forth in the attached Exhibit A, which are attached hereto and incorporated herein by this reference.

THE ABOVE AND FOREGOING RESOLUTION was duly adopted and passed by the Planning Commission of the City of Scotts Valley at a regularly scheduled meeting held on March 9, 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Lori Gentile, Chair

Taylor Bateman, Community Development Director

EXHIBIT A

CONDITIONS OF APPROVAL (Numbers 1 - 13)

STANDARD

1. Developer has agreed to and shall defend, indemnify and hold harmless the City of Scotts Valley, its officers, agents and employees from any claim, action or proceeding against the City or its officers, agents or employees to attach, set aside, void or annul any action of the City in connection with approvals under the California Environmental Quality Act or with respect to approval of the project, which action is brought within the time period(s) prescribed by law. The City shall promptly notify the developer of any such claim, action or proceeding and shall fully cooperate in defense.
2. After Planning Commission approval, the property owner shall sign the Conditions of Approval (Exhibit A) agreeing to the Conditions of Approval prior to the issuance of any building permits or operation of the use.
3. The color, materials, size, location, and design of the improvements shall match the approved plans. Modifications to the approved project may require approval by the Planning Commission at the discretion of the Community Development Director.

PLANNING DEPARTMENT

4. Any proposed signage shall comply with the Planning Sign Program for the Kings Village Shopping Center. Applicant shall obtain all required permits prior to installing any signage.

BUILDING DEPARTMENT

5. All requirements of the Building Department of the City of Scotts Valley shall be met.
6. Applicant shall obtain a building permit(s) and pay appropriate fees before doing any work on the subject property.
7. All structures shall comply with the most current California Energy Commission Standards. (California Energy Code)
8. The plans shall include all required Accessibility Plans and details per 2022 CBC Chapter 11B as appropriate to the Occupancy type.

9. All construction within the City shall be limited to the hours between 8AM and 6PM, Monday through Friday, and 9AM through 5PM on Saturday. ***No construction activity is allowed on Sundays.***
10. The applicant shall affix a copy of the approving resolution and conditions of approval to each set of construction plans which will be submitted to the Building Department.
11. All trades of electrical, plumbing, and mechanical will be issued under one building permit for said project. (General Contractor permittee)
12. All of the following Codes shall be used: 2022 California Building Code (CBC), 2022 California Electrical Code (CEC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Green Building Code (CGBC), 2022 California Energy Code and Scotts valley Municipal Code as applicable to the permitted construction.

SCOTTS VALLEY WATER DISTRICT

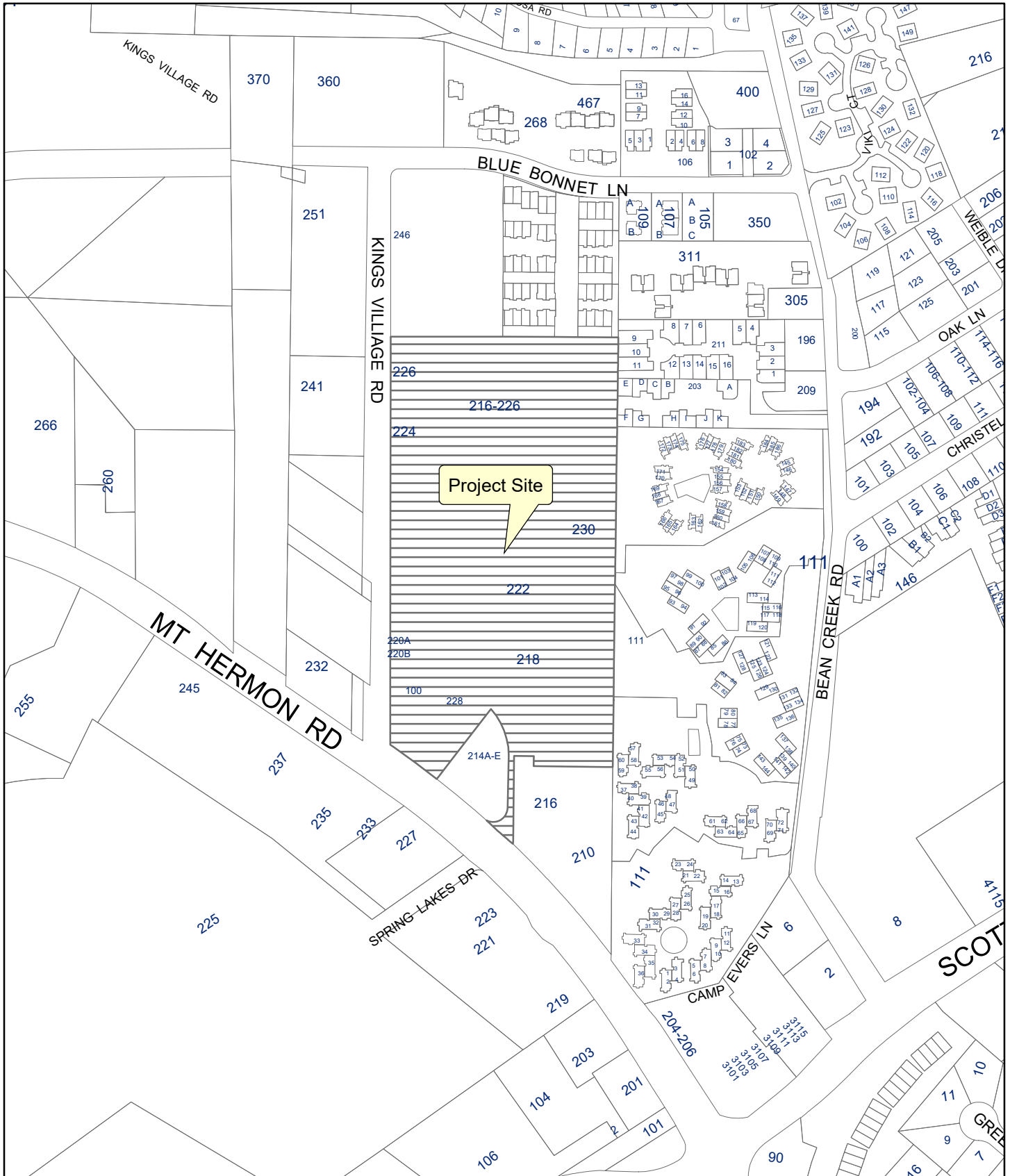
13. The applicant or property owner shall complete a Service Application and provide a \$500 plan review deposit to the Water District.

Ow Commercial, Property Owner

Date

Project Site

Saison Wine Bar and Cellar / 222 Mt Hermon Road, Suite 1 / 022-601-18



17th February 2023

Dear Sarah Wikle,

Thank you for taking the time to review our propositional use for the open space in Suite I of the Kings Village Shopping Center in Scotts Valley!

Saison Cellar is a wine bar concept that focuses on the best producers from around the world and of course a strong focus on Santa Cruz wines. The founder and owner Mark Bright is a resident of Ben Lomond and also produces wines under two brands in Santa Cruz, Saison Winery and Partage Winery with his wife. Saison Cellar finds its name from Mark's restaurant group he founded in San Francisco in 2009 with Saison restaurant, the first 3-star Michelin restaurant in the city.

Saison Cellar will be operating a wine bar where patrons can come and taste wines and learn about the many amazing regions from around the world. We will be holding educational wine events and wine-maker events from many producers of the Santa Cruz region.

We will be serving cheese and meat plates, including terrines and pates. These items will be prepared by Erik's deli next door and served on disposable plates with disposable cutlery. No food preparation or dishwashing shall be provided in the facility.

Premier wine club members will be offered individual storage space for their monthly allotment of wine.

Use Intensity:

Capacity:

Wine Bar Indoor Seating:	449 SF / 30 guest
Wine Bar Outdoor Seating:	80 sf / 5 guests
Wine Cellar:	789 SF
Office & Storage:	307 SF

Hours of Operation: noon - 9 pm

Days per week: 7

Total Number of Employees: 3

Number of Employees at the largest shift: 2

Water Consumption

The anticipated water-using fixtures are as follows.

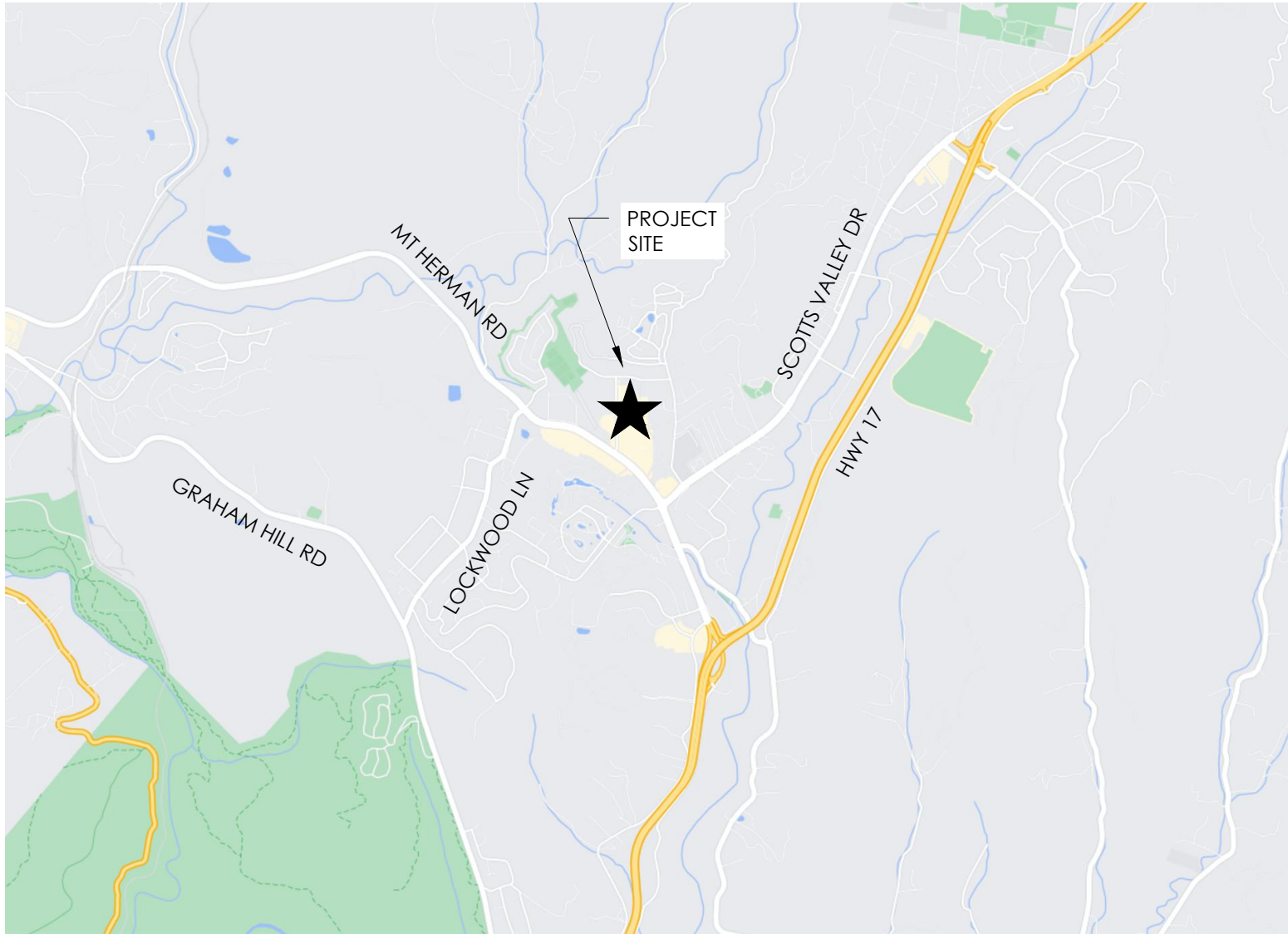
Bar: 1 glass rinse sink
1 glassware dish-washer

Bathroom: 1 hand-wash sink
1 toilet

Estimated water consumption: 100-200 gallons per day

Construction Schedule

Construction is expected to happen from June through August 2023.



GENERAL NOTES:

1.

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:

2022 CALIFORNIA BUILDING CODE

2022 CALIFORNIA RESIDENTIAL CODE

2022 CALIFORNIA MECHANICAL CODE

2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA ELECTRICAL CODE

2022 CALIFORNIA ENERGY CODE

2022 CALIFORNIA GREEN BUILDING CODE

2022 CALIFORNIA FIRE CODE AS ADOPTED BY THE STATE OF CALIFORNIA AND THE LOCAL FIRE PROTECTION DISTRICT

SANTA CRUZ COUNTY CODE AMENDMENTS / CITY OF SANTA CRUZ MUNICIPAL CODE TITLE 18

NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.
2.

ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
3.

CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.

ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGIN. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
4.

ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.
5.

ALL DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.
6.

COORDINATION:

THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAINS.

IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.

THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.

THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.

7.

ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.N.O.

8.

THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTOR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.

9.

VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.

10.

THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, U.N.O.

11.

THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- PROJECT SCOPE
- NEW WINE CLUB WITHIN AN EXISTING COMMERCIAL UNIT IN THE KING'S VILLAGE SHOPPING CENTER. SERVICES INCLUDE A WINE BAR WITH INDOOR AND OUTDOOR SEATING, WINE TASTING, AND RETAIL.
- PROJECT DATA
- APN:

022-60-118

ZONING:

C-CS

LOT AREA:

13.69 ACR

BUILDING FLOOR AREA:

~12,240 SF

SUITE I FLOOR AREA/
AREA OF IMPROVEMENTS:

1,977 SF

CONSTRUCTION TYPE:

VB

SPRINKLERED:

YES
- OCCUPANCY CLASSIFICATION:

PREVIOUS:

M (GIFTSHOP)

PROPOSED:

B* (WINE BAR)

M (WINE RETAIL)
- *PER CBC 303.1.1 A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.
- OCCUPANCY LOAD:

SEE A1.1
- CONTACTS
- BUSINESS OWNER**
MARK BRIGHT
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- GENERAL CONTRACTOR**
STUART KRIEGE
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Stuart@KriegeConstruction.com
- SHEET INDEX
- A1

VICINITY MAP, PROJECT SCOPE, OVERALL SITE PLAN, SHEET INDEX, GENERAL NOTES

A1.1

CLOSE-UP SITE PLAN & SCHEDULES

A2

EXISTING FLOOR PLAN AND SECTION

A3

PROPOSED FLOOR PLAN

A4

EXTERIOR ELEVATION & SECTIONS
-
- KING'S VILLAGE SHOPPING CENTER

OVERALL SITE

SCALE: 1:1000
- MCKELVEY
HEMBREE

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TEL 831. 239. 2554
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- John R.
McKelvey
C-25094
31 May 2023
STATE OF CALIFORNIA
- SAISON CELLAR

TENANT IMPROVEMENT

KING'S VILLAGE SHOPPING CENTER - UNIT I
222 MOUNT HERMAN ROAD
SCOTTS VALLEY, CA 95066
APN: 022-60-118
- VICINITY MAP,
PROJECT SCOPE,
OVERALL SITE PLAN,
SHEET INDEX,
GENERAL NOTES
- DRAWN

MB

SCALE

AS NOTED

DATE

1. NOV. 2022
- REVISIONS

15. FEB. 2023

2. MAR. 2023
- USE PERMIT
- A1
- 010
- 030

OCCUPANT LOAD AND EXITING REQUIREMENTS
PER CBC CHAPTER 10 & TABLE 1004.5

SPACE	FUNCTION	AREA	LOAD FACTOR	OCCUPANT LOAD		EXIT REQUIREMENTS
WINE BAR	ASSEMBLY	449 SF NET (+80 SF OUTDOOR)	1 PER 15 NET	30 (+5)	41 TOTAL (46 WITH OUTDOOR SEATING)	1 EXIT OR EXIT ACCESSES REQUIRED
	SERVICE	180 SF GROSS	1 PER 100 SF GROSS	2		
	RETAIL	56 SF GROSS	1 PER 60 SF GROSS	1		
	STORAGE	199 SF GROSS	1 PER 300 SF GROSS	1		
	OFFICE	108 SF GROSS	1 PER 150 SF GROSS	1		
CELLAR	RETAIL	250 SF NET	1 PER 60 SF GROSS	4		
	STORAGE	548 SF GROSS	1 PER 300 SF GROSS	2		

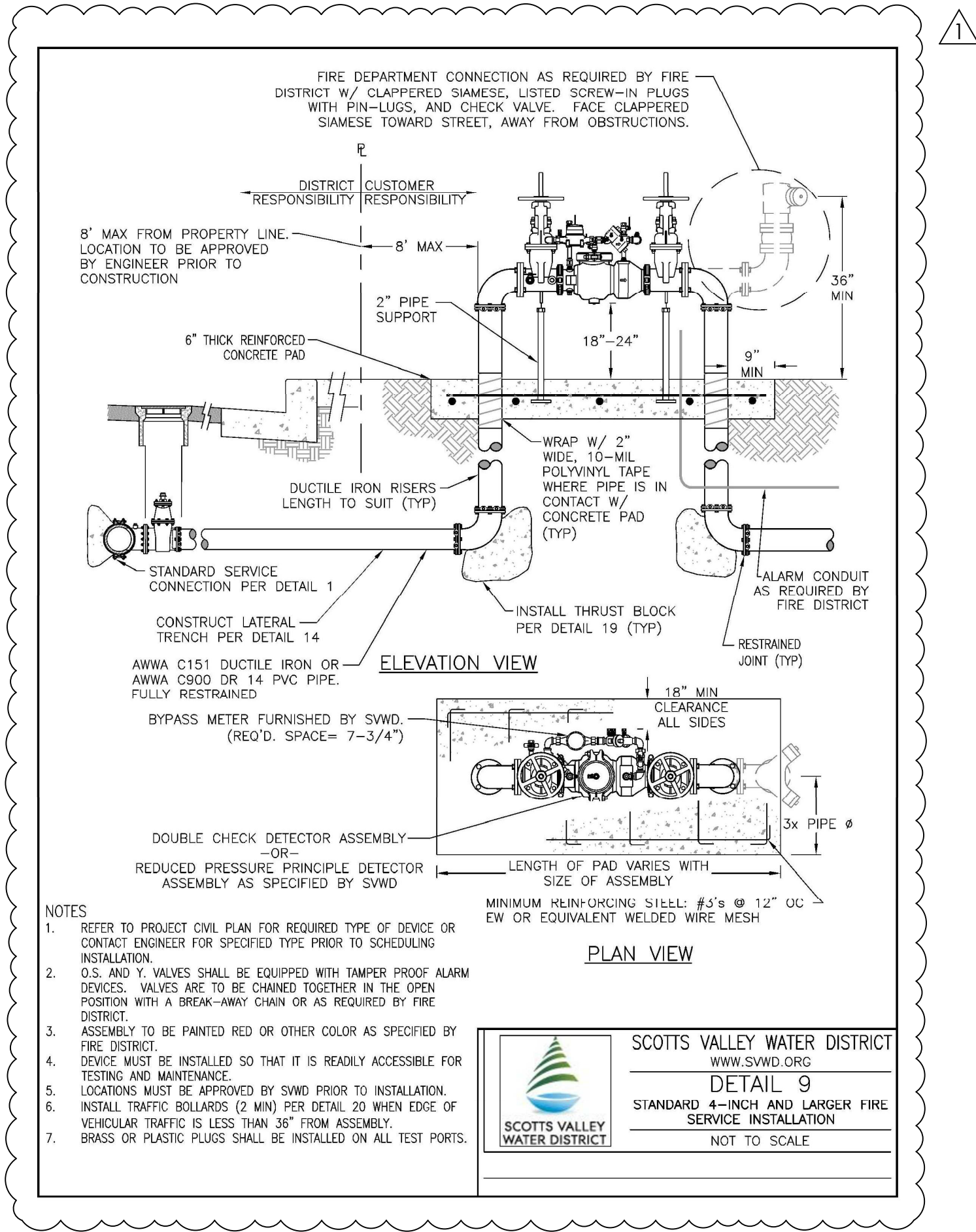
PARKING REQUIREMENTS
CITY OF SCOTTS VALLEY MUNICIPAL CODE 17.44.030

SPACE	FUNCTION	AREA	PARKING SPACE REQUIRED	AVAILABLE PARKING
PUBLIC	WINE BAR ASSEMBLY	449 SF NET (+80 SF OUTDOOR)	1 PER 60 SF	8.82
	WINE BAR RETAIL	56 SF GROSS	1 PER 250 SF	0.22
	CELLAR RETAIL	250 SF NET	1 PER 60 SF	4.17
NON-PUBLIC	WINE BAR SERVICE	180 SF GROSS	1 PER 250 SF	0.72
	WINE BAR & RETAIL STORAGE	199 SF GROSS	1 PER 250 SF	0.80
	CELLAR STORAGE	548 SF GROSS	1 PER 250 SF	2.19
	OFFICE	108 SF GROSS	1 PER 250 SF	0.43

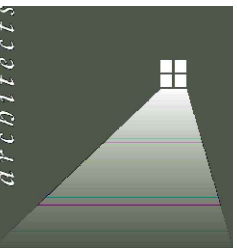
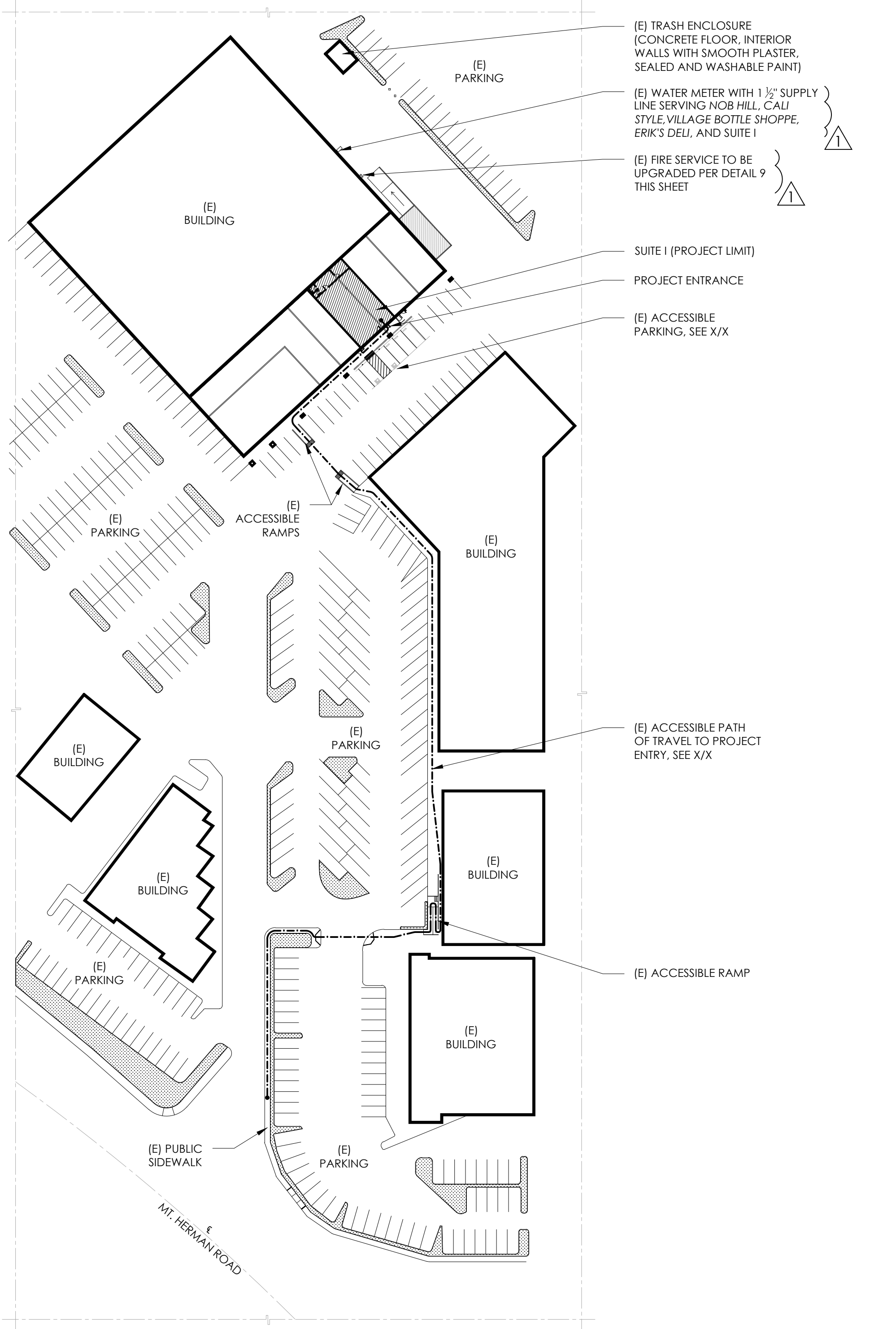
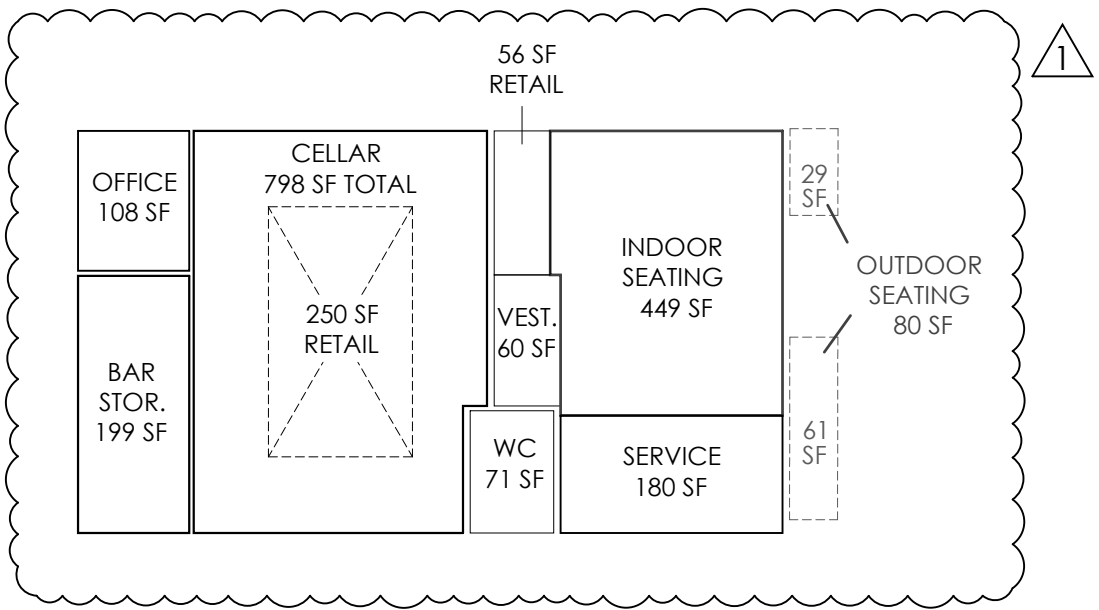
MINIMUM PLUMBING FACILITIES
PER CALIFORNIA PLUMBING CODE, CHAPTER 4 & TABLE 422.1
OCCUPANCY DETERMINED PER CPC TABLE 4.1

GROUP	OCCUPANCY	LOAD	WATER CLOSETS		URINALS	LAVATORIES		DRINKING FOUNTAINS
			MALE	FEMALE		MALE	FEMALE	
A2	WINE BAR SEATING	AREA: 529 SF FUNCTION: ASSEMBLY (PORTABLE SEATING/TABLE SPACE) RATIO: 1:30 SF LOAD: 18	TOTAL LOAD: 18 (9 WOMEN 9 MEN)	0.18 1 FOR 1-50 2 FOR 51-150	0.36 1 FOR 1-25 2 FOR 26-50	0.05 1 FOR 1-200	0.07 1 FOR 1-150 1 FOR 1-150	0.004 1 FOR 1-250
B	WINE BAR SERVICE/ OFFICE	AREA: 288 SF FUNCTION: BUSINESS RATIO 1:150 SF LOAD: 2	TOTAL LOAD: 1 (1 WOMEN 1 MEN)	0.02 1 FOR 1-50	0.07 1 FOR 1-15	0.01 1 FOR 1-100	0.01 1 FOR 1-75 1 FOR 1-50	0.007 1 PER 150
M	RETAIL	AREA: 306 SF FUNCTION: BUSINESS RATIO 1:150 SF LOAD: 2	TOTAL LOAD: 1 (1 WOMEN 1 MEN)	0.01 1 FOR 1-100	0.01 1 FOR 1-100	0.005 1 FOR 1-200	0.005 1 FOR 1-200 1 FOR 1-200	0.004 1 PER 250
S	WINE BAR & RETAIL STORAGE	AREA: 747 SF FUNCTION: WAREHOUSE RATIO 1:4000 SF LOAD: 1	TOTAL LOAD: 1 (1 WOMEN 1 MEN)	0.01 1 FOR 1-100	0.01 1 FOR 1-100	-	0.005 1 FOR 1-200 1 FOR 1-200	0.004 1 FOR 1-250
TOTAL				0.22 1	0.45 1**	0.07 1	0.09 1	0.02 1
FIXTURES REQUIRED*								

** PER CPC TABLE 422.1 NOTE 3 THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. [BSC] THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50.
EITHER: - THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR
- IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE.



AREA DIAGRAM



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CLOSE-UP SITE PLAN

OCCUPANCY

PARKING

EXITING

DRAWN MB
SCALE AS NOTED
DATE 1. NOV. 2022

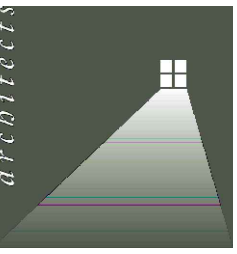
REVISIONS

15. FEB. 2023

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USE PERMIT

A1.1



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EXISTING
FLOOR PLAN
&
SECTION

DRAWN MB
SCALE AS NOTED
DATE 1. NOV. 2022

REVISIONS

15. FEB. 2023
2. MAR. 2023

USE PERMIT

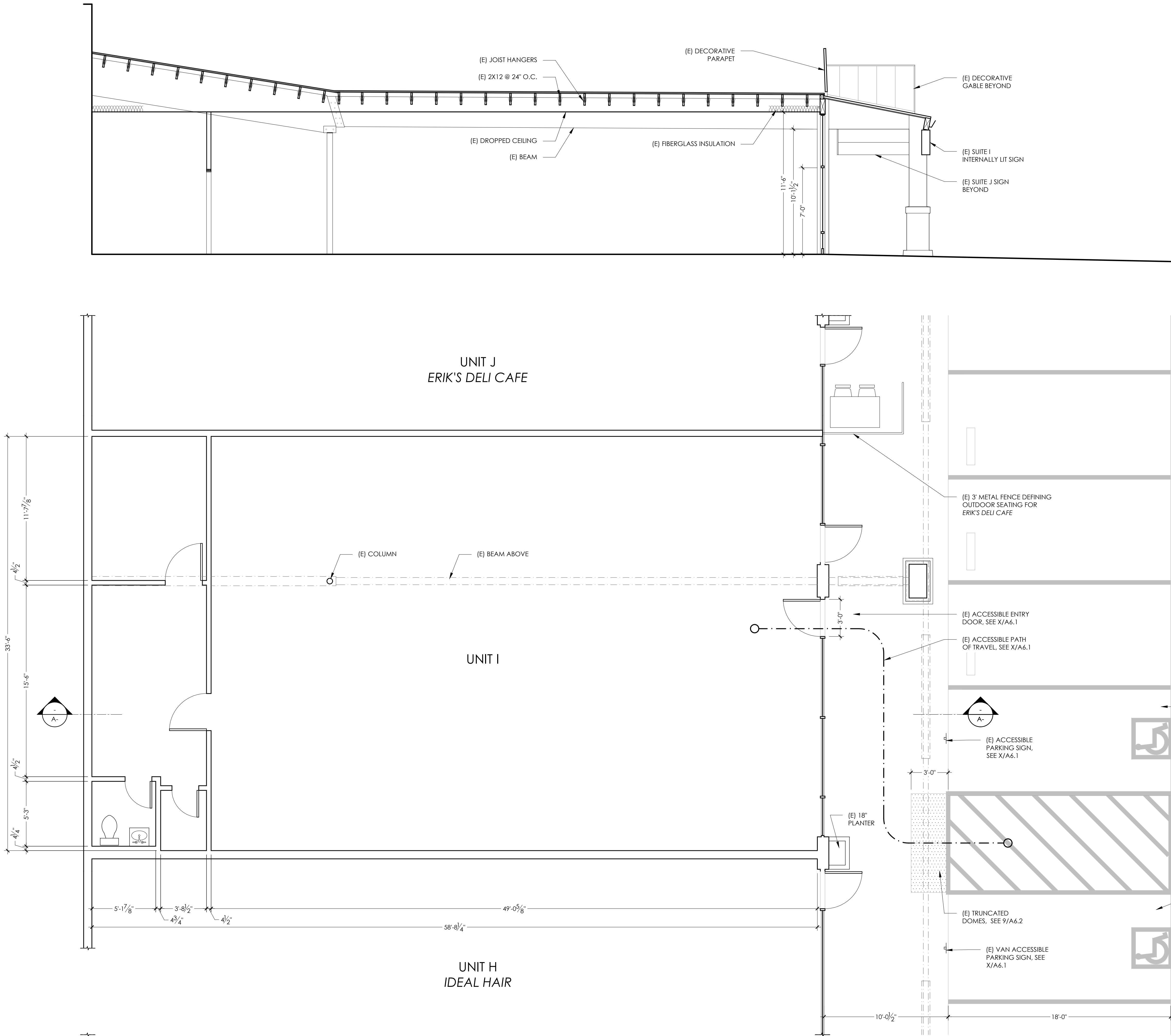
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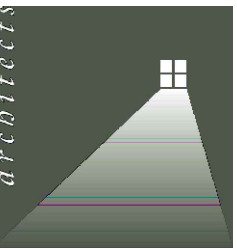
EXISTING
SECTION

SCALE: 1/4" = 1'-0"

EXISTING
FLOOR PLAN

SCALE: 1/4" = 1'-0"





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PROPOSED FLOOR PLAN

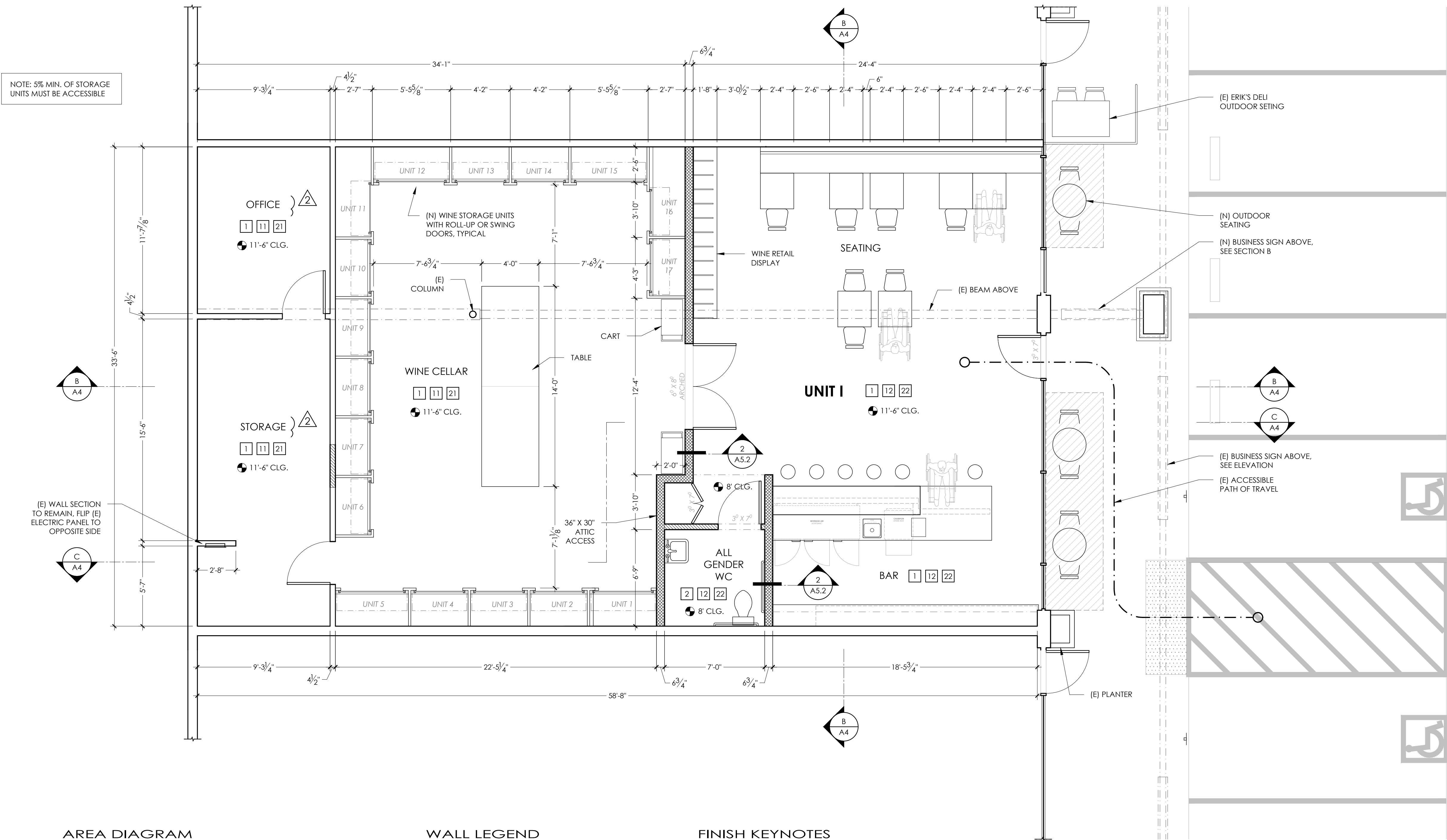
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SCALE AS NOTED
DATE 1. NOV. 2022

REVISIONS

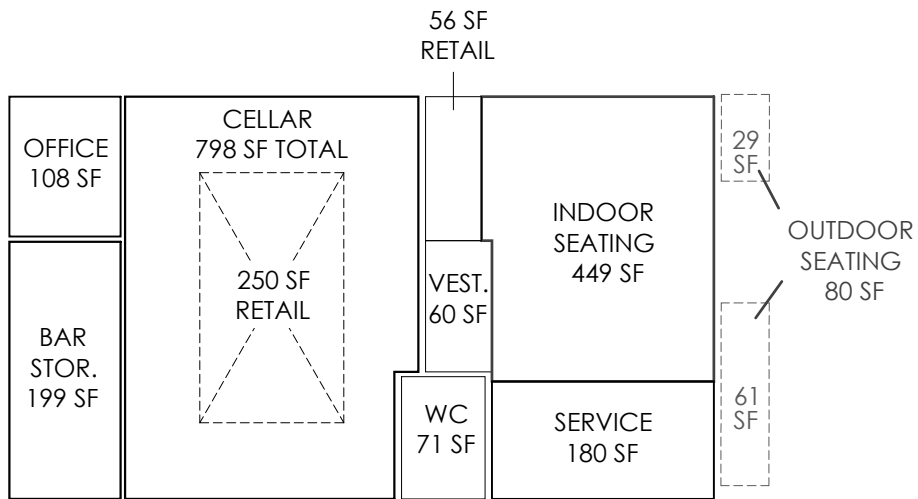
15. FEB. 2023
2. MAR. 2023

USE PERMIT

A3



AREA DIAGRAM



WALL LEGEND

- (E) 2X4 WALL
- (N) 2X4 @ 16" O.C. WALL
- (N) 2X6 @ 16" O.C. WALL
- WALL TO BE REMOVED
- DROP DOWN BEAM IN CEILING

SYMBOL LEGEND

- 1 FINISH KEYNOTE.
- 1 APPLIANCE KEYNOTE
- 1 PLUMBING KEYNOTE

FINISH KEYNOTES

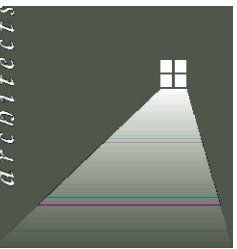
- WALL, CEILING & DOOR FINISHES
- 1 OLD WORLD DRYWALL FINISH, SEMI GLOSS PAINT
- 2 FRP PANELS ON WALLS TO 4'-0" MIN. FROM TOP OF FLOOR BASE (TO 12" MIN. ABOVE SINKS); SEMI GLOSS PAINT ABOVE
- 3 SOLID REDWOOD, OILED

- FLOOR FINISHES
- 11 SEALED CONCRETE
- 12 LUXURY VINYL TILE

- CEILING FINISHES
- 21 (E) 2' X 4' ACOUSTICAL PANELS, (N) FLAT PAINT
- 22 (N) 2' X 2' TIN CEILING TILES WITHIN (E) SUSPENDED CEILING GRID

- CABINETS, COUNTER TOPS & SHELF FINISHES
- 31 SEALED WOOD OR LAMINATE
- 32 MANUFACTURED QUARTZ
- 33 WOOD BOARDS

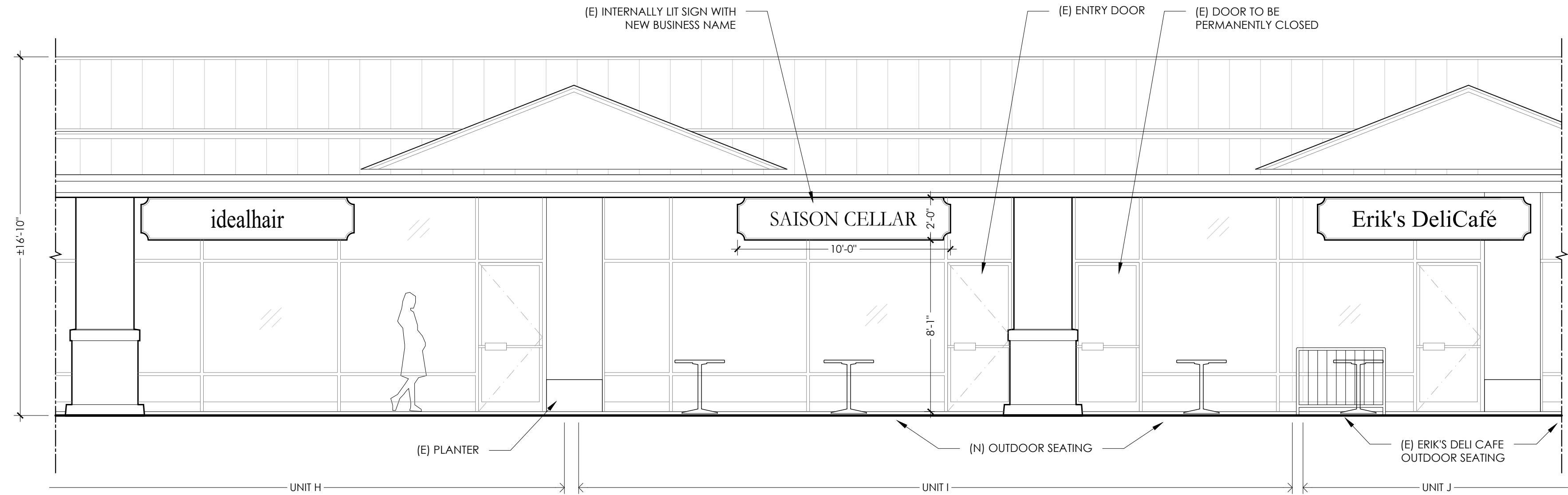
FLOOR PLAN
SCALE: 1/4" = 1'-0"



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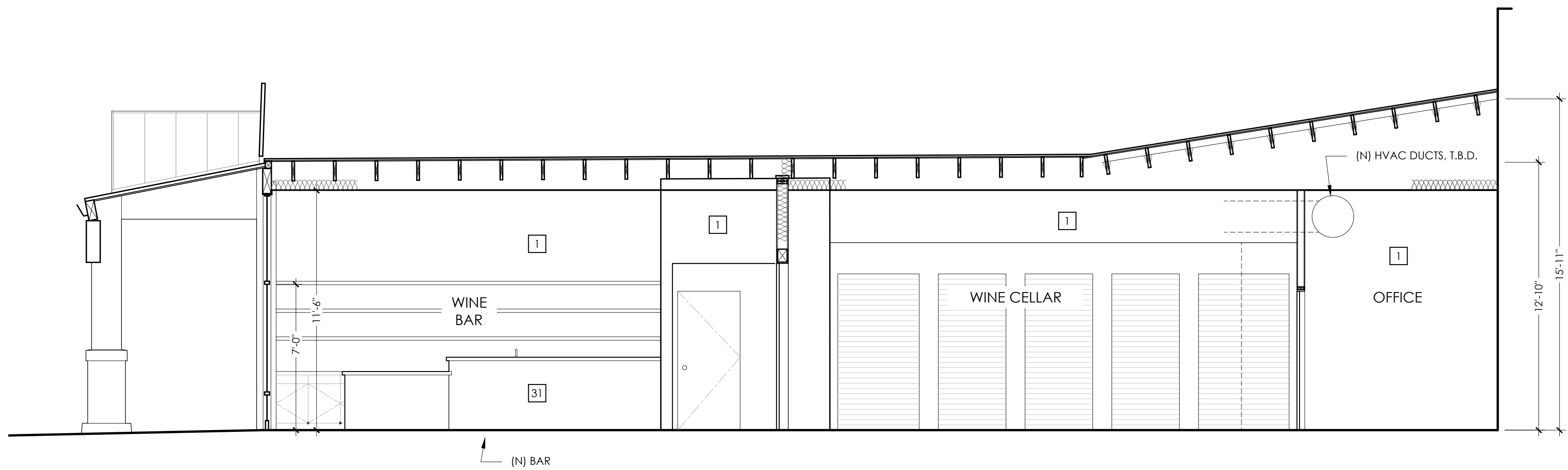


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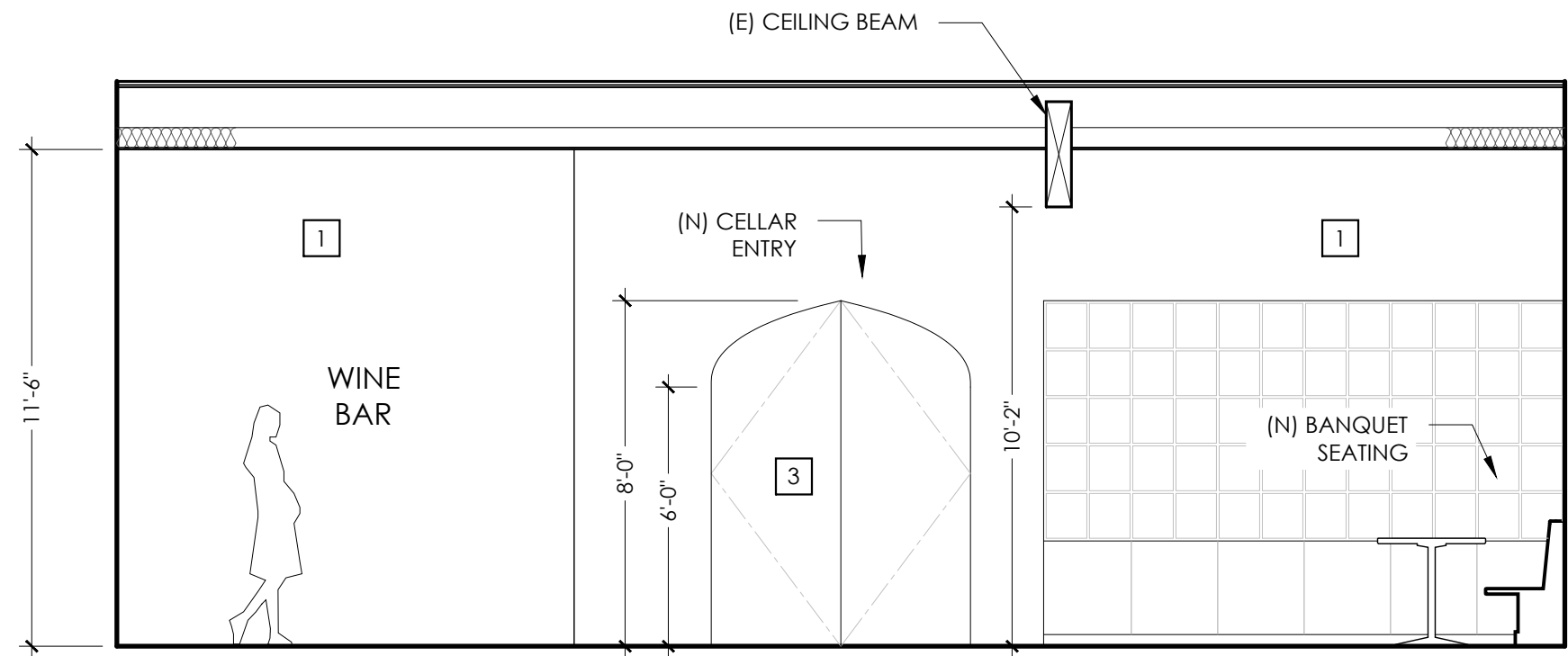
EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



SECTION C

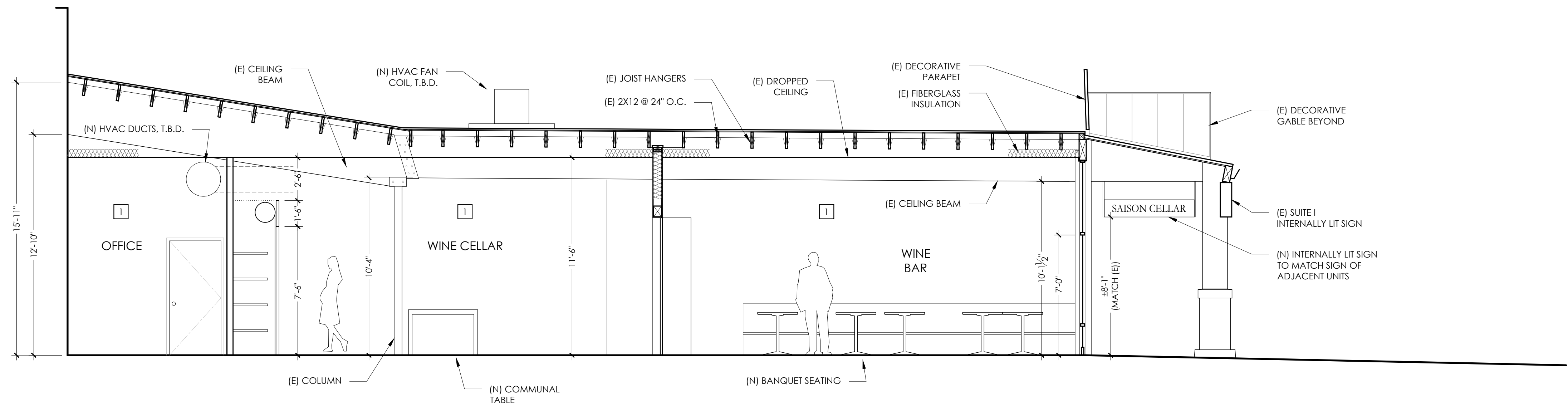
SCALE: 1/4" = 1'-0"



SECTION A

SCALE: 1/4" = 1'-0"

1
SECTIONS HAVE BEEN REVISED PER NEW BUSINESS MODEL AND FLOOR PLAN



SECTION B

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION & SECTIONS

DRAWN MB
SCALE AS NOTED
DATE 1. NOV. 2022

REVISIONS	
1	15. FEB. 2023
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A4